



APPROVED 7.8.19

ACME TOWNSHIP PLANNING COMMISSION MEETING  
ACME TOWNSHIP HALL  
3593 Bunker Hill Rd, Williamsburg MI 49690  
(Former Acme Laundromat at US-31 & Bunker Hill Rd)  
June 10<sup>th</sup>, 2019 7:00 p.m.

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 PM**

**ROLL CALL: Members present:** K. Wentzloff (Chair), D. Rosa, D. VanHouten, B. Balentine, D. White  
**Members excused:** S. Feringa, M. Timmins  
**Staff present:** L. Wolf, Planning & Zoning Administrator, S. Winter, Planner, Beckett & Raeder, J. Jocks, Legal Counsel, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:02 pm

Jim Heffner, 4050 Bayberry Lane, voiced his concerns on the Steffey property

Brian Kelley, Acme Resident (Submitted written comments to be added to packet)

Limited Public Comment closed at 7:06 pm

**B APPROVAL OF AGENDA:**

**Motion by White to approve agenda as presented, supported by Balentine. Motion carried unanimously.**

**C INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

**1. RECEIVE AND FILE**

- a. Township Board Draft Regular Meeting Minutes 05.14.19
- b. Parks & Trails Committee Draft Meeting Minutes 05.17.19

**2. ACTION:**

- a. Approve Draft Planning Commission Meeting Minutes 05.13.19
- b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19

Brian Kelley requested to have 2. ACTION: a. Approve Draft Planning Commission Meeting Minutes 05.13.19 and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19 removed from the consent calendar.

**Motion by Balentine to approve Receive and File, a. Township Board Draft Regular Meeting Minutes 05.14.19 and b. Parks & Trails Committee Draft Meeting Minutes 05.17.19 as presented, supported by White. Motion carried unanimously.**

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR**

2. ACTION: a. Approve Draft Planning Commission Meeting Minutes 05.13.19  
and b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19

Brian Kelley had concerns with the comments not entered in the minutes by attendees in the Public Comments, only their name and address were added.

Winter explained this was a change made at the last meeting to have only the name and address and no comment unless it is a public hearing. After a brief discussion, it was decided to postpone further

decisions on adding comments and put it on the agenda for the next PC meeting.

**G. CORRESPONDENCE:**

1. Matt Vermetten – Pezzetti, Vermetten & Popovits, PC: Dr. David Steffey’s Property
2. Brian Kelley – Draft Master Plan

**H. PUBLIC HEARINGS:** Open at 7:18 pm

1. **Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10) – No Comments**
2. **DRAFT Community Master Plan 2019 (PZR 2019-13): Open at 7:19**

Brian Kelley, Acme resident, said the letter under correspondence is for the 63-day comments on the master plan. He has concerns on the future land use map as with the Steffey property and on the high density throughout the master plan. In the survey people were opposed to high density in Acme as well as public water due to the expense.

Jim Heffner, 4050 Bayberry Lane, voice on the Steffey property being changed from urban residential to recreational. He feels Mr. Steffey should have the right to use his property in a way as he purchased it. He is also concerned with any development of the property on the wetlands.

Closed at 7:24 pm

**I. OLD BUSINESS:**

1. **Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10)**

Winter explained this is eliminating the sending zone to the sending zone density transfer option.

**Motion by Rosa to recommend approval to the Township Board the adoption of Zoning Ordinance Amendment 050: Planned Development – Transfer of Development rights as presented, supported by Balentine. Motion carried unanimously.**

2. **DRAFT Community Master Plan 2019 (PZR 2019-13)**

Winter informed the draft is to send to the board for adoption. A letter from Paul Thwing, Director of Capital Projects & Planning for TCAPS, stated they are maintaining the building and grounds for Bertha Vos School, but have no definite plan for its future use. Winter noted on the letter sent from David Steffey regarding his property’s category had been changed in the master plan. Winter clarified the future land use categories does not change the zoning of the property. If the planning commission master plan is adopted with the proposed land use categories, the Steffey property will have the same zoning, it will not be changed. He also added there was a comment made at the March meeting by Mr. Pulciper on his property on the west of US-31 surrounded on three sides as resort residential owned by Lochenheath, Mr. Pulciper questioned the agricultural liability of his property and the census of the PC was to change his west side of US-31 property to resort residential and revise the map to show this change.

The Planning Commission went over the revisions sent from Brian Kelley. For the Web/Televised Township meetings, the language on page 37 needs to be changed to read; the following initiatives had the strongest opposition, instead of were not supported. Locally owned needs to be added to the word retail in the text on page 38. Under Pubic Facilities on page 57, the Township Hall priorities needs to keep the wording as is since the current renovation is to make the environment workable, but the township hall still needs more space for both operations.

Wentzloff noted on the Steffey property the township’s description for Urban Residential is as follows; “Encourage the development of quality, high-density residential living and affordable living that will minimize the encroachment of such development on farms, forests, and environmentally sensitive areas”. The zoning has not changed for his property. Also, public water

is necessary for economic development in the community for commercial growth and residential areas.

Winter replace Figure 20, Future Land Use map on page 65 of the Draft Acme Township Community Master Plan (2019) with the edited Future Land Use Map updated April 18, 2019.

**Motion by Rosa to adopt the resolution adopting the Acme Township Community Master Plan for 2019, supported by Balentine. Roll call motion carried unanimously.**

**J. NEW BUSINESS:**

- 1. Zoning Ordinance Amendment 051 – “Childcare Center” Text Amendment (PZR 2019-12)**  
Winter explained there is a party interested in using the property at 5700 US-31 N. for childcare center/pre-school. The current property owner is interested in leasing to them. They chose to add an amendment to add childcare organizations to the Zoning Ordinance for the PC to consider.

**Motion by White to set a public hearing at the July 8, 2019 Planning Commission meeting to consider the adoption of Zoning Ordinance Amendment 051 to add “Child Care Organizations” as a use allowed by right to the C: Corridor Commercial District and Corridor Flex under Section 6.6.4.1 Regulation Uses, supported by Balentine. Motion carried unanimously.**

- 2. SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center (PZR 2019-09)**  
Chris Biggers, architect for Bigg Architecture, presented an overview of the project. Winter summarized a long list of conditions that must be met prior to issuing a land use permit. It was decided by the commissioners to have these conditions met and for him to come back to the next PC meeting for review.
- 3. SPR 2019-06 – GR Hydro TC Retail and Wholesale Garden Center (PZR 2019-11)**  
Winter informed the applicant is proposing to reuse an existing vacant building at 5549 Bates Rd. for a 17,600 sq. ft. retail and wholesale garden supply center. The building was previously approved under a special use permit to be the home of the Traverse City Bulldogs Athletic Association. Since the applicant is proposing to occupy an existing vacant building with no improvements to the site or expansion of the facility, there is no need to force the applicant to bring the development into compliance in areas where it is now deficient. Per the Zoning Ordinance, the Planning Commission is having this application come before them to review and approve since it is a change of use to the property.

**Motion by Rosa to approve site review application SPR 2019-06, submitted by Leo Grant of GR Hydro TC to occupy and operate an approximately 17,600 square foot retail and wholesale garden supply center in the existing vacant building located at 5549 S. Bates Rd, with the following condition: A revised site plan sealed by a licensed engineer shall be submitted as a full size print and pdf document, signed by the planning Commission Chair and Applicant, supported by Balentine. Motion carried unanimously.**

**K. PUBLIC COMMENT & OTHER PC BUSINESS: Open at 8:46 pm**

Brian Kelley, Acme resident, felt Acme could televise the meetings like other townships. He requested a review of the signage ordinance and how more advanced brighter lighting is being used.

Closed at 8:49 pm

- 1. Planning & Zoning Administrator Report –** Winter suggested for site plan review applicants who want to occupy an existing space where they are allowed by right and are not making exterior changes, there be some provision that allows an administrative review by staff. He thought this might be something to look at for the future.

2. **Township Board Report – Doug White:** No report
3. **Parks & Trails Committee Report:** Winter reported there was a stakeholders meeting on the tart trail for property owners on May 29.

**ADJOURN: Motion to adjourn by Balentine, supported by Rosa. Meeting adjourned at 8:53 pm**



**ACME TOWNSHIP PLANNING COMMISSION MEETING**  
**ACME TOWNSHIP HALL**  
**3593 Bunker Hill Rd, Williamsburg MI 49690**  
**(Former Acme Laundromat at US-31 & Bunker Hill Rd)**  
**June 10<sup>th</sup>, 2019 7:00 p.m.**

**CALL TO ORDER**  
**WITH PLEDGE OF ALLEGIANCE**

**ROLL CALL:**

- A. LIMITED PUBLIC COMMENT:** Members of the public may address the Commission regarding any subject of community interest during public comment periods by filling out a Public Comment Card and submitting it to the Secretary. Public comments are limited to three minutes per individual. Comments during other portions of the agenda may or may not be entertained at the moderator's discretion
- B. APPROVAL OF AGENDA:**
- C. INQUIRY AS TO CONFLICTS OF INTEREST:**
- D. SPECIAL PRESENTATIONS:**
- E. CONSENT CALENDAR:** The purpose of the consent calendar is to expedite business by grouping non-controversial items together for one Commission motion without discussion. A request to remove any item for discussion later in the agenda from any member of the Commission, staff or public shall be granted.
  - 1. RECEIVE AND FILE**
    - a. Township Board Draft Regular Meeting Minutes 05.14.19
    - b. Parks & Trails Committee Draft Meeting Minutes 05.17.19
  - 2. ACTION:**
    - a. Approve Draft Planning Commission Meeting Minutes 05.13.19
    - b. Approve Draft Special Planning Commission Meeting Minutes 05.21.19
- F. ITEMS REMOVED FROM THE CONSENT CALENDAR**
  - 1. \_\_\_\_\_
  - 2. \_\_\_\_\_
- G. CORRESPONDENCE:**
  - 1. Matt Vermetten – Pezzetti, Vermetten & Popovits, PC: Dr. David Steffey's Property
  - 2. Brian Kelley – Draft Master Plan
- H. PUBLIC HEARINGS:**
  - 1. Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10)
  - 2. DRAFT Community Master Plan 2019 (PZR 2019-13)
- I. OLD BUSINESS:**
  - 1. Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights (PZR 2019-10)
  - 2. DRAFT Community Master Plan 2019 (PZR 2019-13)
- J. NEW BUSINESS:**
  - 1. Zoning Ordinance Amendment 051 – “Childcare Center” Text Amendment (PZR 2019-12)
  - 2. SPR 2019-05 – Redbud Roots Lab X Marihuana Provisioning Center (PZR 2019-09)
  - 3. SPR 2019-06 – GR Hydro TC Retail and Wholesale Garden Center (PZR 2019-11)

**K. PUBLIC COMMENT & OTHER PC BUSINESS**

1. Planning & Zoning Administrator Report – Shawn Winter
2. Township Board Report – Doug White
3. Parks & Trails Committee Report – Marcie Timmins

**ADJOURN:**



**ACME TOWNSHIP REGULAR BOARD MEETING  
3593 Bunker Hill Rd, Williamsburg MI 49690  
Will be held in the old Acme Laundry  
Tuesday, May 14, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 p.m.**

**ROLL CALL: Members present:** J. Zollinger, C. Dye, A. Jenema (arrived 7:29 pm), J. Aukerman, D. White, P. Scott

**Members excused:** D. Nelson

**Staff present:** S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:02 pm

Jim Heffner, 4050 Bayberry Lane (Submitted written comments to be added to packet)

Brian Kelley, 4893 Ridge Crest (Submitted written comments to be added to packet)

Limited Public Comment closed at 7:07 pm

**B. APPROVAL OF AGENDA:**

Zollinger added to the agenda under K. New Business, 8. Tribal 2% Grant Application, and 9. Boom Boom Club.

**Motion by White to approve the agenda as presented with the addition under K. New Business, 8. Tribal 2% Grant Application, and 9. Boom Boom Club, supported by Aukerman. Motion carried unanimously.**

**C. APPROVAL OF BOARD MINUTES: 04/02/19 and Special Meetings 04/11/19 and 04/29/19**

**Motion by Aukerman to approve the meeting minutes of 04/02/19 and Special Board Meetings 04/11/19 and 04/29/19, supported by Dye. Motion carried unanimously.**

**D. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**E. REPORTS**

**a. Clerk:** Dye reported a mailing went out May 1 to register voters asking if they would like to be placed on the absentee voter application list with a return response form. This will help reduce the volume of attendees in the township hall during the elections. The cemetery is now open and there have been four burials.

**b. Parks:** Zollinger reported the Grand Opening Ceremony for Bayside Park will be held Saturday, May 18, 2019 from 12:30 – 1:30 pm. Working with the DNR to closed out the Park project, the last item is to approved is the draft for the park's sign. The well pump at Saylor Park went bad and had to be replaced.

He asked for the board's approval to order and pay for sway benches to be placed in Bayside Park that has been submitted from the Parks & Trails committee. There is a donator for the benches leaving the township to pay for any remaining costs after the donation.

**Motion by Dye to approve the purchase from GameTime for the sway benches for \$5,765.58, supported by Scott. Roll call carried unanimously.**

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- c. **Legal Counsel – J. Jocks:** No report
- d. **Sheriff:** Deputy Nate Lentz reported the nice weather has increased traffic and car break-ins.
- e. **County:** G. LaPointe informed the pension liability is still on the forefront with the commissioners. The jail is another focus looking at alternative options for those who are dealing with sobriety instead of placing them in jail. Checking-in to programs that test for drugs and alcohol to address these issues would lower costs instead of housing them in jail. The tree cutting at the airport was a big concern from the community. The airport commission has the right to do whatever is an aeronautical benefit for them.
- f. **Supervisor: No report**

F. **SPECIAL PRESENTATIONS:** None

G. **CONSENT CALENDAR:**

1. **RECEIVE AND FILE:**

- a. **Treasurer's Report**
- b. **Clerk's Revenue/Expenditure Report and Balance Sheet**
- c. **North Flight March Report**
- d. **RecycleSmart April 2019**
- e. **Draft Unapproved meeting minutes**

1. **Planning Commission 04/08/19**

2. **APPROVAL:**

- 1. **Accounts Payable Prepaid of \$288,501.50 and Current to be approved of \$16,660.57 (Recommend approval: Clerk, C. Dye)**

**Motion by White to approve the Consent Calendar as presented, supported by Scott. Roll Call motion carried unanimously.**

H. **ITEMS REMOVED FROM THE CONSENT CALENDAR:** None

I. **CORRESPONDENCE:**

1. **Letter dated 5/7/19 to Brad Kluczyski/GTCRC Manager from Supervisor, Jay Zollinger**

Zollinger explained the correspondence is to have GTCRC turn over the ownership of the Shores Beach Lane to Acme Township. The Township is interested in this road since it is an exit from Bayside Park. Left turns onto US 31 North takes cars out to the light at Shores Beach Lane and US 31 north. This was a MDOT requirement when the entrance was moved for the new parking lot. The township is working with the Tribe and BIA to see if funds can be obtained to improve the pavement surface of the road.

J. **PUBLIC HEARING:** None

K. **NEW BUSINESS:**

1. **Resolution #R2019-16 for liquor license for LeBos LLC, DBA BOS Wine**

The Board discussed the permit for the premise located at 7352 Angell Rd., Williamsburg. This is to begin the process to submit for approval for a small on-premise tasting room permit for a product they produce.

**Motion by Scott to approve the license application for LeBos LLC, DBA BOS Wine, supported by White. Motion carried unanimously.**

2. **Bayside Park Tents/wedding concerns- Supervisor**

Zollinger stated he would like to set a policy not to have tents allowed at the park for events. The park is open to everyone and cannot be closed for a private function. There is also the problem of people putting tent stakes in the ground that could damage the irrigation system. The board agreed with this rule.

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## 3. **Emergency Sewer repair- Hope Rd and M72 east**

Zollinger informed DPW notified him there was road erosion on M72 and Hope Rd caused by the sewer. He believes the damage occurred when DTE put in a gas main and hit a sewer line. He wants the board to be aware of the repair bill and that he will try to go back to DTE with DPW to recover the costs.

**Motion by Scott to approve up to \$30,000 to repair the sewer and to have DPW and the Supervisor go to DTE to try to get a reimbursement for the damage, supported by Aukerman. Roll call motion carried unanimously.**

## 4. **Road repairs in Acme Township this summer**

Zollinger gave a list of roads to be repaired in Acme Township with tar and chip seal.

## 5. **Memo Marihuana Licensing Fees**

Winter explained when the Medical Marihuana Licensing Ordinance was adopted, they gave their best estimate of fees. After the first year and half it has become apparent the work completed by both staff and counsel needed have the amount increased.

**Motion by Jenema to amend the Acme Township Fee Schedule to set the fee for a new medical marihuana facility license application at \$1,500 and a medical marihuana facility license renewal or amendment at \$500, supported by Dye. Motion carried by five (Jenema, Dye, Zollinger, White, and Aukerman), opposed by Scott.**

## 6. **Resolution #R-2019-17 Amending Burial fees and change of Sexton**

Dye informed of a new burial contractor for the Acme and Yuba cemeteries and amended fees, since the current contractor gave notification, he will no longer be doing the job. If the board agrees, Robert Wilkinson who has over 18 years of experience performing burials in Grand Traverse would be the replacement. There would also be a change in the burial fees as described on the agreement.

**Motion by Jenema to pass Resolution #R-2019-17 for the Acme Township Board of Trustees agree to Robert Wilkinson as contractor for burial services and the amended burial fees and hours presented, supported by White. Motion carried unanimously.**

## 7. **Stipend for Non-Statutory Clerk Duties**

Dye presented a report to the board for consideration of a yearly stipend of \$3,000 for duties that are non-statutory and take time to complete. She gave a list of the items and an estimate of what each task's percentage would be of the \$3,000. The board discussed various ways of delegating some of the tasks to other offices or increasing the clerk's salary and keeping them as the clerk's duty to handle.

**Motion by Jenema to increase the Clerk's salary by \$1,500 for additional work that is related to payroll and the cemetery, and a \$1,500 increase to the stipend for the FOIA Coordinator, notary and reporting for workers comp audit, general liability reporting, and deferred compensation retirement plan management, supported by Aukerman. Roll call motion carried by four (Jenema, Zollinger, Scott and Aukerman), opposed by White, recused by Dye.**

## 8. **Tribal 2% Grant Application**

Winter informed this is a request for the Board's approval to submit a Tribal 2% Grant Application in the May 2019 allocation cycle. The application will request \$38,593 funding for trail amenities along the proposed Traverse City to Charlevoix Trails Bunker Hill Rd. to M-72 Segment.

**Motion by Jenema to approve the Township submitting a Tribal 2% Grant for the May allocation cycle in the amount of \$38,593 for trail amenities along the Traverse City to**

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**Charlevoix Trail: Bunker Hill Rd. to M-72 segment, supported Scott. Motion carried unanimously.**

## **9. Boom Boom Club**

Zollinger stated this is an annual request from the club that the township has supported for fireworks. He said the amount to contribute would be \$300.

**Motion by White to approve \$300 to Boom Boom Club, supported by Aukerman. Roll call motion carried unanimously.**

## **L. OLD BUSINESS:**

### **1. Zoning/Planning Position**

Zollinger informed the Zoning/Planning position has been offered to Lindsey Wolf who has a background in zoning and planning. She is available to start in four weeks and will come in for training with Winter prior to that time. She has been offered a starting salary of \$56,500, after six months performance another \$1,500, and first year good performance of an additional \$1,500. Full medical benefits with employee contribution, 457 savings plan 10% base wage totaling \$5950 at one year, paid bi-weekly, 9 annual holidays per employee handbook, vacation at start 64 hours annually, after one year 104 hours annually, work week 4/10-hour days starting 7:30 am until 6:00 pm. A background check will be performed prior to employment.

**Motion by White to approve hiring Lindsey Wolf starting at \$56,500 with benefits as discussed, supported by Scott. Roll call motion carried unanimously.**

Jenema suggested there be an exit review with Shawn Winter to get his feedback for future use. Aukerman agreed to do the review.

### **2. Budget discussion 2019-2020**

Zollinger stated he has all the resolutions and how much is budgeted for each expenditure by category. He will finish working on the package to have for the board's review at the June meeting.

## **PUBLIC COMMENT & OTHER BUSINESS THAT MAY COME BEFORE THE BOARD:**

Opened at 9:40 pm

Brian Kelley, 4893 Ridge Crest

Winter thanked the board for the opportunity he was offered and is grateful for what everyone provided during his employment.

Public comment closed 9:45 pm

**ADJOURN: Meeting adjourned at 9:46 pm**



**ACME TOWNSHIP PARKS & TRAILS MEETING**  
**ACME TOWNSHIP HALL**  
**6042 Acme Road, Williamsburg MI 49690**  
**May 17, 2019 8:30 a.m.**

**ROLL CALL:**

<b>Committee:</b>	Resigned	Feringa	x	Heflin	x	Heffner	x	Jenema
	x	Smith	x	Timmins	x	Wentzloff		
<b>Advisory:</b>	excused	Kushman						
<b>Staff:</b>	x	Winter	x	Donn				

- A. **PUBLIC COMMENT:** None
- B. **APPROVAL OF AGENDA:** Motion by Timmins to approve the agenda as presented, seconded by Heflin. Motion carries.
- C. **INQUIRY AS TO CONFLICTS OF INTEREST:** None
- D. **CORRESPONDENCE:** None
- E. **ACTION:**
  - 1. **Approve Draft Parks & Trails Minutes 03.15.19. Motion by Timmins to approve the minutes from 03.15.19, seconded by Heflin. Motion carries.**
- F. **OLD BUSINESS:**
  - 1. **Trail Updates**
    - a. **Michigan Natural Resources Trust Fund Grant**  
 Winter informed they received the initial feedback for the Michigan Natural Resources Trust Fund Grant. The completeness review was done and there were a few items that needed to be fulfilled. Those items were sent with the exception of letters that are required showing support from the road commission and MDOT for the right-away. Correspondence that has been received will be sent as proof the Tart Trail is working toward that. They have until October to get it completed.  
  
 The first stakeholder meeting will be on Wednesday, May 29. Someone from MDOT will be present at the meeting.  
  
 There has been a \$300,000 commitment for the grant from the Iron Belle Trail Fund, which is a trail network running through the state.
    - b. **Tribal 2% Grant**  
 Winter stated the board approved and signed the application for the Tribal 2% Grant for estimated \$39,000 to go towards trails amenities like benches, trash bins, wayfinding, recycle bins, signage and necessary prep work.
  - 2. **Adoption Program**  
 Winter informed the funds have been received for the Bayside Park wetland plants which will be planted today. He is working with a sign company to get a plaque made to be placed on a rock dedicated to Eric Takayama.  
  
 The board approved to order the sway swing donated by Linda Kaleita, formally Linda Weeks, for her late husband. Her current husband is interested in donating a second swing to adopted for this late wife. The board approved and ordered both swings.

Cathy Dye received an email from Rebecca Dornoff, who would like to donate a special swing for a small child that provides extra safety.

**Motion by Timmins to approve the donation by Rebecca Dornoff for a special swing for Bayside Park, seconded by Wentzloff. Motion carries.**

**3. Park System Signage**

Winter informed he has contacted the sign company for specifications and has passed this task on to Ryan to handle going forward.

Jenema said signs are also needed for the cemeteries with the same branding and should be included in the bid with the park signs.

**4. Art In The Park**

Smith would like to know what individuals he could contact to get feedback on art projects for the park. Heffner submitted photos of sculptures another park had done. Jenema said it would be nice to have the art pieces be interactive for the park visitors. She will bring copies of the park's layout to the next meeting to discuss locations for possible art settings.

**5. Bayside Park Dedication Ceremony**

Winter reported the open ceremony is Saturday May 18 at 12:30 -1:30 pm. Cathy Dye is getting refreshments and cookies for the event.

**G. NEW BUSINESS: None**

**H. PUBLIC COMMENT:**

Jenema informed Zollinger received an email from a gentleman who is inquiring about renting paddleboards from his mobile vehicle at Bayside Park. She said at this time nothing has been discussed on costs or permits for rentals in the parks. She said driving a vehicle in and out over the park grounds is a concern.

Wentzloff questioned if letting him do this might open the door for others wanting to have rental operations there.

The census of the committee was this would be a nice amenity to have available for those utilizing the park and a way to generate revenue for the township.

Timmins informed she will not be attending the next two monthly Parks and Trails meetings due to a family obligation and taking a trip. She will return for the August meeting.

**ADJOURN: Motion by Timmins to adjourn, seconded by Wentzloff. Meeting adjourned at 9:22 am**



**ACME TOWNSHIP PLANNING COMMISSION MEETING  
ACME TOWNSHIP HALL  
5320 US-31 N, Williamsburg MI 49690  
(Former Acme Laundromat at US-31 & Bunker Hill Rd)  
May 13<sup>th</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:02 PM**

**ROLL CALL: Members present:** K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

**Members excused:** M. Timmins

**Staff present:** S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** None

**B. APPROVAL OF AGENDA:**

**Motion by Feringa to approve the agenda as presented, supported by Rosa. Motion carried unanimously.**

**C. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

**1. RECEIVE AND FILE**

- a. Township Board Draft Regular Meeting Minutes 04.02.19
- b. Township Board Draft Special Meeting Minutes 04.11.19
- c. Township Board Draft Special Meeting Minutes 04.29.19

**2. ACTION:**

- a. Approve Draft Planning Commission Meeting Minutes 04.08.19

**Motion by Balentine to approve the Consent Calendar as presented, supported by VanHouten. Motion carried unanimously.**

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR:** None

**G. CORRESPONDENCE:** None

**H. PUBLIC HEARINGS:** None

**I. OLD BUSINESS:**

**1. Master Plan Public Comment Update**

Winter stated the Township has received two public comments related to the draft Community Master Plan. The first is from Paul Thwing from TCAPS concerning the future status of the former Bertha Vos School facility, currently they don't have a definite plan for its future use.

The second is regarding a parcel east of Bartlett Rd, south of a county-owned recreational parcel at the corner of Bunker Hill Rd and Bartlett Rd, and north of the county-owned parcel where the VASA Trailhead is located. The property is currently zoned R-3 Urban Residential. Given the recreational uses of the lands surrounding the property, the draft Community Master Plan has proposed changing the future land use category on this property from "Residential – Urban" to "Conservation / Recreation". This creates a continuous zone of "Conservation / Recreation"

future land use with the previously existing on the northside of Bunker Hill Rd. The future land use classification does not constitute a zoning change. Winter and the Supervisor met with the property owner to discuss his concerns and it will be talked about at the public hearing next month.

**2. Zoning Ordinance Amendment 050 – Planned Development**

Winter has asked to change the scheduled May public hearing for the proposed zoning ordinance to the June 10 Planning Commission meeting.

**Motion by Feringa to set a public hearing for June 10, 2019 to consider recommending approval of Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights, supported by Balentine. Motion carried unanimously.**

**J. NEW BUSINESS:**

**1. SPR 2019-04 – Skymint Medical Marihuana Provisioning Center (PZR 2019-07)**

Winter informed an application has been received to construct a medical marihuana provisioning center at 6140 N Arnold Rd. This is a use allowed by right in the B-4: Material Processing and Warehousing District. The Applicant does possess a local license for the facility type at this location. Stephanie Space, the architect and Will Mitchell with Bob Mitchell & Associates PC, were in attendance for any questions.

The proposal includes the construction of a 3,456 sq. ft facility on a vacant piece of land located behind the Tractor Supply Company. Most of the zoning ordinance standards have been met, with exceptions related to landscaping, exterior lighting and storm water management. None of the outstanding items are determined by staff to be substantial enough to prevent approval but can be required to be rectified prior to issuing a land use permit.

**Motion by Feringa to approve Site Plan Review application SPR 2019-04, submitted by Bob Mitchell and Associates P.C., on behalf of Green Peak Innovations dba Skymint, to construct and operate an approximately 3,456 square foot licensed medical marihuana provisioning center located at 6140 N Arnold Rd, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit:**

- 1. Revise the landscape plan to meet the native, non-invasive plant species, treed island, and right-of-way screening requirements of the Zoning Ordinance and as outlined in Planning & Zoning Report 2019-07, and to be approved by the Planning & Zoning Administrator and/or Township officials.**
- 2. Submit a completion bond, cash deposit, letter of credit, or certified check in the amount of the approved landscape plan as determined by a professional landscaper.**
- 3. Remove the wall pack lighting on the south and north facades of the building;**
- 4. All exterior lighting shall be shut off outside the hours of operation once the staff is no longer present except for the wall packs on the east façade, and one soffit light above the south entry and one soffit light above the west exit.**
- 5. Pending on the MDOT permit for the storm water discharge within the railroad right-a-way.**
- 6. The final set of site plan drawings be updated to reflect the applicable conditions, stamped by a licensed engineer, architect, or landscape architect, and signed by the Planning Commission Chair and Applicant. Supported by Rosa. Motion carried unanimously.**

**K. PUBLIC COMMENT & OTHER PC BUSINESS**

Public comment opened at 7:27 pm

Jim Heffner, 4050 Bayberry Lane

Public comment closed at 7:33 pm

**1. Planning & Zoning Administrator Report – Shawn Winter**

There will be a special Planning Commission meeting held on Tuesday, May 21, 2019 at 7:00 pm for a SUP minor amendment and site plan review for modifications at Flintfields Horse Park. Two other site plan reviews for provisioning centers in the B-4 district are in the works. They intend to be on the June 10, 2019 agenda. There has been no additional movement on the RV Park project to date. Bayside Park Opening Ceremony will be held on Saturday, May 18, 2019 from 12:30 – 1:30 pm. The net climber playground structure has been installed. On June 10 there will be two public hearings one for the rescheduled zoning ordinance amendment and the other for adopting the Master Plan.

**2. Township Board Report:** White reported the board is doing a budget review.

**3. Parks & Trails Committee Report:** Winter informed the initial review was received for the DNR Trust Fund Grant for the trail with a few items to be completed by May 15. The MDOT rail is needed by October and is being worked on. A 2% grant for trail amenities will be submitted this month.

**ADJOURN: Motion to adjourn by Feringa, supported by Balentine. Meeting adjourned at 7:42 pm**



**ACME TOWNSHIP PLANNING COMMISSION MEETING  
ACME TOWNSHIP HALL  
3593 Bunker Hill Rd, Williamsburg MI 49690  
(Former Acme Laundromat at US-31 & Bunker Hill Rd)  
May 21<sup>st</sup>, 2019 7:00 p.m.**

**CALL TO ORDER WITH PLEDGE OF ALLEGIANCE at 7:00 PM**

**ROLL CALL: Members present:** K. Wentzloff (Chair), S. Feringa (Vice Chair), D. Rosa, D. VanHouten, B. Balentine, D. White

**Members excused:** M. Timmins

**Staff present:** S. Winter, Planning & Zoning Administrator, V. Donn, Recording Secretary

**A. LIMITED PUBLIC COMMENT:** Open at 7:01 pm

Brian Kelley, 4893 Ridge Crest (Submitted written comments to be added to packet)

Richard Rudlaff, 12701 Mastique Beach Blvd., Fort Myers, Fl.

Limited Public Comment closed at 7:07 pm

**B. APPROVAL OF AGENDA:**

**Motion by Feringa to approve agenda as presented, supported by White. Motion carried unanimously.**

**C. INQUIRY AS TO CONFLICTS OF INTEREST:** None

**D. SPECIAL PRESENTATIONS:** None

**E. CONSENT CALENDAR:**

1. **RECEIVE AND FILE:** none

2. **ACTION:** none

**F. ITEMS REMOVED FROM THE CONSENT CALENDAR:** None

**G. CORRESPONDENCE:** None

**H. PUBLIC HEARINGS:** None

**I. OLD BUSINESS:** None

**J. NEW BUSINESS:**

1. **SUP 2019-01 Minor Amendment for Flintfields Horse Park (PZR 2019-08)**

Winter explained this is an application from Flintfield for a minor amendment to a special use permit to shift two existing show rings and adding an adjacent warmup ring. The shift would cause the rings to encroach into the existing drainage basin for the property, so this calls for refiguring and enlarging the basin. Additionally, it is for a new pavilion to be approved under the standards of the Zoning Ordinance. The Pavilion had been constructed without prior approval. Gosling-Czubak has reviewed the proposed changes to the previously approved use, to include the reconfiguring of the arena layout and verified the plans are consistent with modifications of adding 8,778 cubic feet to the stormwater basin to increase to 20,095 cubic feet. A Soil Erosion and Sedimentation Control Permit has been submitted and reviewed. There is correspondence from Grand Traverse Metro Fire Department that they have received a copy of the site plans for

review and are also working on emergency access for areas around the site with Dusty Christensen from Mansfield Land Use Consultants in Traverse City, a consultant for the horse show. Winter suggested the horse show do a master plan of future uses and any changes that will be done.

**Motion by Balentine to approve Special Use Permit minor amendment application SUP 2019-01, submitted by Mansfield Land Use Consultants, on behalf of Traverse City Horseshows LLC, to shift two existing show rings, construct a warmup ring adjacent, to add a pavilion over an existing spectator viewing area, and to reconstruct the storm water drainage basin as necessary and indicated on the submitted site plans, for the Great Lakes Equestrian Festival operated at Flintfields Horse Park, 6535 Bates Rd, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit: Submit approval of the site plan by the Grand Traverse Metro Fire Department, and the final set of site plan drawings be updated to reflect the applicable conditions, stamped by a licensed engineer, architect, or landscape architect, and signed by the Planning Commission Chair and Applicant, supported by White. Motion carried unanimously.**

**K. PUBLIC COMMENT & OTHER PC BUSINESS:** Opened at 7:35 pm

Brian Kelley, 4893 Ridge Crest

Public Comment closed at 7:38 pm

**1. Planning & Zoning Administrator Report – Shawn Winter**

Winter reported Lindsey Wolf will be the new Planning & Zoning Administrator and is starting June 17. She has a background in zoning and planning.

**2. Township Board Report – Doug White: No report**

**3. Parks & Trails Committee Report:** Wentzloff reported the Bayside Park dedication was held and it was announced Iron Belle Trail Fund pledged to match half of what is needed for the Tart Trail if the DNR Trust Fund Grant is received. Winter informed the board approved and signed the application for the Tribal 2% Grant for estimated \$39,000 to go towards trails amenities.

**ADJOURN: Motion by Balentine to adjourn, seconded by VanHouten. Meeting adjourned at 7:42 pm**

**To: Acme Planning Commission**

**From: Brian Kelley**

**Date: June 10, 2019**

**Good evening,**

**In the minutes from the May 13 and May 21 PC meeting, public comments are not summarized and recorded as they have always been in Acme. All we get is the person's name. I hope that was just an oversight, because to not capture a public comment would be disrespectful to the people of this community. When someone takes the time to attend a meeting and make a comment, it should be captured. It is an important record, and it is important for transparency. We all want transparency, don't we?**

**At a recent PC meeting, I think it was May, Dan Rosa asked how public engagement and attendance at meetings could be improved. Surely capturing summaries of public comments in meeting minutes is part of that.**

**In February, 35 members of the public attended the PC meeting and many voiced their opinion on a PUD project. Most everyone who spoke voiced strong support for 5 acre minimum lot sizes in Ag. I see that the draft master plan does not respect their stated opinions. Is that part of the desire to not capture comments? To stifle a clear record of significant dissent? Is anyone here tonight going to claim public comments are not worthy of being summarized in the meeting minutes? Is it necessary to ask those folks to come back before the PC, to ask that their voices are captured in the minutes?**

**Thank you,**

**Brian Kelley**

**PEZZETTI, VERMETTEN & POPOVITS, P.C.**  
**ATTORNEYS AT LAW**

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May 16, 2019

VIA FIRST-CLASS MAIL AND EMAIL

Acme Township  
Attn: Jay Zollinger  
& Shawn Winter  
6042 Acme Road  
Williamsburg, MI 49690

Dear Mr. Zollinger and Mr. Winter,

The undersigned represents the interest of, Dr. David Steffey, owner of Parcel 01-111-012-10 in Acme Township (the "Property"). As you are aware, in purchasing the Property Dr. Steffey sought, as allowed by the Property's current zoning and traditional land use principles, to subdivide it into 64 lots for use as a small footprint, affordable home development. Dr. Steffey sought approval from Acme Township to increase the number of lots permitted on the Property, but was denied. As discussed in detail below, we believe that denial was contrary to both logic and the goals of the Acme Township and Grand Traverse County Master Plans. As such, we seek reconsideration of that decision.

Additionally, there is currently a section of the VASA trail running through the Property. A copy of the easement between Acme Township and prior owners Richard & Meredith Erickson is attached hereto. The language of that controlling document, is clear that the easement itself is not appurtenant to the land (i.e. running with the land), but rather an easement in gross meant to benefit Acme Township only as long as the Erickson's maintained ownership of the Property. The Michigan Court of Appeals has provided a useful definition of each, and notes the distinction between them: "Michigan courts recognize two types of easements: easements appurtenant and easements in gross... An appurtenant easement attaches to the land and is incapable of existence apart from the land to which it is annexed... 'An easement in gross is one 'benefiting a particular person and not a particular piece of land.'"

Penrose v. McCullough, 308 Mich. App. 145, 148, 862 N.W.2d 674, 677 (2014) (citations omitted)

As a new owner of the Property, Dr. Steffey is not bound to honor the easement as currently configured. However, Dr. Steffey would like to reach an understanding with Acme Township wherein the easement, while slightly modified, would attain permanent appurtenance to the land and his desired home development allowed to move forward. We feel this mutually-beneficial arrangement may be accomplished with a minimum of bother or unrest to either party. It is our hope that we can schedule a meeting in the near future to accomplish that end.

With regard to Dr. Steffey's vision of a 64-lot home development on the Property, it is manifestly in line with the goals of both the Township and County Master Plans. For example, one of the Acme Township Master Plan's "Cornerstone" goals is to, "Create a 'Community' Attractive to All Age Groups." (See Acme Township Master Plan, p. 58). As part of reaching that goal, one of the stated "building blocks" is to, "[e]nsure affordable, accessible housing in the Township." *Id.* Additionally, per the zoning map for future land use, the Property is situated with the Urban-Residential (R-3) zoning area; again, the proposed development of a medium density home development would be right in line with the intent and purpose of such a classification. For its part, the Grand Traverse County Master Plan cites the need to, "[s]upport and encourage new housing development that is affordable, well-designed, and compatible with the region's unique character," as one of its "Strategies to Enhance Community Values." (See Grand Traverse County Master Plan, p. 27). Certainly, Dr. Steffey's planned home development would provide affordable and conveniently-located housing of just the type desired.

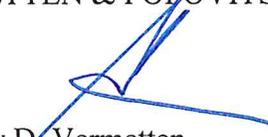
Further, it should be appreciated that construction of the proposed development will destroy no farm land or forest whatsoever. The Property itself has limited uses, housing being far and away the most probable, and it is situated adjacent to existing housing (negating concern for urban sprawl) and sewer and water mains. No government or municipal funds will be required or requested to accomplish this affordable housing and, again as desired in the Grand Traverse and Acme Township Master Plans, will allow a crucial access corridor for residents, connecting the TART Trail, Traverse City, the Meijer Development, and the Grand Traverse Resort in a truly walkable, rideable, non-motorized manner.

Similarly, both Master Plans stress the need to strengthen the community tax base by encouraging entrepreneurship, beneficial land use, and attraction of new residents. We firmly believe that Dr. Steffey's proposed development, an entrepreneurial endeavor in itself, will further all of these important goals and maximize the Property's value for all parties.

Please contact my office at your earliest convenience to discuss any of the foregoing, and to schedule a meeting wherein we can expand on these ideas and formulate a mutually-beneficial plan for the future.

Sincerely,

PEZZETTI, VERMETTEN & POPOVITS, P.C.



Matthew D. Vermetten

MDV/jln

**To: Acme Township Planning Commission**  
**From: Brian Kelley**  
**Subject : Draft Master Plan comment**  
**Date: May 24, 2019**

**The Master Plan update looks very nice. In this feedback on the draft, I would ask you to review four items for possible correction. These are corrections of factual errors and typos.**

**Note that I previously submitted this correction in writing at the March 11, 2019 Planning Commission meeting, where edits were being made to the Master Plan. Unfortunately the Chair declined to consider the changes.**

**Thank you,**  
**Brian Kelley**

**1. On page 37, "*Web/Televised township meetings*"**

**This initiative in the Draft Master Plan is incorrectly reported as "Not Supported" In fact, 45% supported it, and 36% responded *No* (see page 38). Please correct this error by moving the item from the "were not supported" category to the "Supported only if taxes are not raised" category, also on page 37.**

The following initiatives were not supported.

1. District branch library (39%)
2. Web/televised Township meetings (36%)
3. Public water services (32%)

With regard to funding, do you believe the following initiatives should be pursued over the next 10 years?

- Yes, even if it raises my taxes
- Uncertain
- Yes, only if it doesn't raise my taxes
- No

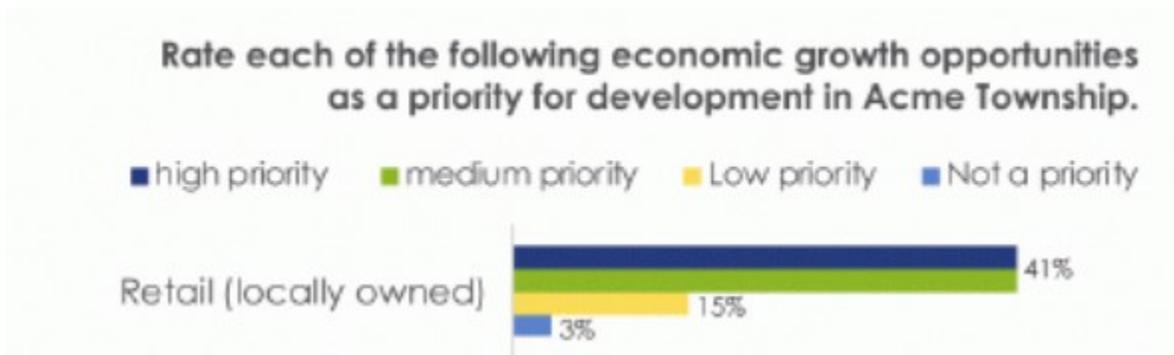


## 2. Page 38, "Economic Growth Opportunities"

This item incorrectly indicates the top priority is "Retail".

"The top priorities for the respondents was Retail (41%)"

In fact, the question very specifically asked about "Retail (*locally owned*)" The Local aspect of the question is critical, and the item should be corrected to reflect support for that specific type of retail.



## 3. Page 47 Cornerstone, Public Infrastructure Improvement"

"5. Collaborate with Metro Fire and other (sic) on the location of new Fire / EMS station and Township Hall."

**Since this draft plan was written the board has voted to fund significant renovations to the township hall, and a new township hall is no longer the plan. This Cornerstone/priority should reflect that change.**

**4. Page 57, the paragraphs under TOWNSHIP PRIORITIES, also appear to need updates to reflect recent investments.**

### *Public Facilities*

Both the Fire Department and Township Hall are in need of replacement. The current Township Hall facility is functionally obsolete for both operations and is not an efficient or private workspace for Township administration. One



<b>Acme Township</b>			
<b>Planning &amp; Zoning Report No. 2019-10</b>			
Prepared:	June 5, 2019	Pages:	2
Meeting:	June 10, 2019	Attachments:	Yes
Subject:	Zoning Ordinance Amendment 050		

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**Application No.:** Zoning Ordinance Amendment 050

**Request:** Delete the option for a sending zone to sending zone density transfer under Section 19.6(c)(5); Update “Dwelling Unit Density Transfer Map”; minor changes to clarify the review; and approval process and corrections to text errors

**Applicant:** Acme Township Planning Commission

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## I. OVERVIEW

A public hearing is scheduled for the June 10, 2019 Planning Commission meeting to consider Zoning Ordinance Amendment 050: Planned Development – Transfer of Development Rights. After a thorough review of application PD 2018-02 that requested a sending zone to sending zone density transfer in the A-1 Agricultural District, it was determined that such a transfer under Section 19.6(c)(5) is not consistent with the intent and purpose of Article XIX, or the future land use map and goals and objectives of the master plan.

Additionally, the amendment proposes an update to the Dwelling Unit Density Transfer Map in Article XIX to include the C: Corridor Commercial District and the properties recently rezoned south of M-72 and on either side of Lautner Rd (Zoning Ordinance Amendment 049, adopted June 5, 2018, effective June 22, 2018)

## II. FINDING OF FACT

- a) The sending zone in the Dwelling Unit Density Transfer Map is composed of Residential – Rural, Recreation / Conservation, Industrial, and Agriculture future land use categories in the master plan’s Future Land Use Map. Accepting density transfers in these areas is inconsistent with the descriptions of each of the above-mentioned future land use categories;
- b) Accepting density transfers in the land zoned A-1: Agriculture is inconsistent with the Cornerstone: Support the Continuation of Agricultural Operations and Preservation of Farmland, specifically building blocks 1 and 4;
- c) The sending zone to sending zone density transfer is inconsistent with the Intent and Purpose of Article XIX Planned Development;
- d) The update to the Dwelling Unit Density Transfer Map is necessary for the map to reflect the changes to the zoning map as result of zoning ordinance amendment 049; and

- e) The edits to the review and approval process are necessary to provide clarity the Township and Applicants.

### **III. Considerations**

The proposed zoning ordinance amendment 050 addresses a number of issues that currently exist in Article XIX, which aligns the ordinance with the master plan and makes the process more understandable for applicants and the Township. Staff recommends the Planning Commission recommend approval to the Township Board of the draft zoning ordinance amendment 050 Planned Development – Transfer of Development Rights as presented.

#### *Suggested Motion For Consideration*

Motion to recommend approval to the Township Board the adoption of Zoning Ordinance Amendment 050: Planned Development – Transfer of Development rights as presented.

**ACME TOWNSHIP ZONING ORDINANCE  
AMENDMENT 050  
ARTICLE XIX – PLANNED DEVELOPMENT**

**ARTICLE XIX: PLANNED DEVELOPMENT**

**19.1 INTENT AND PURPOSE**

- a. The Planned Development (PD) option is intended to allow, with Township approval, private or public development which is consistent with the goals and objectives of the Township Master Plan and Future Land Use Map.
- b. The development allowed under this Article shall be considered as an optional means of development only on terms agreeable to the Township.
- c. Use of the PD option will allow flexibility in the control of land development by encouraging innovation through an overall, comprehensive development plan to provide variety in design and layout; to achieve economy and efficiency in the use of land, natural resources, energy and in the provision of public services and utilities; to encourage useful open spaces suited to the needs of the parcel in question; to provide proper housing including workforce housing; or to provide employment, service and shopping opportunities suited to the needs of the residents of the Township.
- d. It is further intended the PD may be used to allow nonresidential uses of residentially zoned areas; to allow residential uses of nonresidential zoned areas; to permit densities or lot sizes which are different from the applicable district and to allow the mixing of land uses that would otherwise not be allowed; provided other community objectives are met and the resulting development would promote the public health, safety and welfare, reduce sprawl, and be consistent with the Acme Township Community Master Plan and Future Land Use Plan Map.
- e. It is further intended the development will be laid out so the various land uses and building bulk will relate to one another and to adjoining existing and planned uses in such a way that they will be compatible, with no material adverse impact of one use on another.
- f. The number of dwelling units for the PD development shall not exceed the number of dwelling units allowed under the underlying Zoning District, unless there is a density transfer approved by the Township.

**19.2 DEFINITIONS**

**Planned Development (PD):** means a specific parcel of land or several contiguous parcels of land, for which a comprehensive physical plan meeting the requirements of this Article, establishing functional use areas, density patterns, a fixed network of streets (where necessary) provisions for

public utilities, drainage and other essential services has been approved by the Township Board which has been, is being, or will be developed under the approved plan.

### 19.3 CRITERIA FOR QUALIFICATIONS

To qualify for the Planned Development option, it must be demonstrated that all of the following criteria will be met:

- a. The properties are zoned R-1, R-2, R-3, A-1, MHN, C, CF, or B-4 Districts.
- b. The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity, building, or use not normally allowed shall result in an improvement to the public health, safety and welfare in the area affected.
- c. The PD shall not be used where the same land use objectives can be carried out by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PD application.
- d. The PD option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those considered in the Township Master Plan, and other public agency plans, unless the proponent can prove to the sole satisfaction of the Township that such added loads will be accommodated or mitigated by the proponent as part of the PD.
- e. The PD shall not be allowed solely as a means of increasing density or as a substitute for a variance request; such objectives should be pursued through the normal zoning process by seeking a zoning change or variance.
- f. The PD must meet, as a minimum, five (5) of the following nine (9) objectives of the Township. If the PD involves a density transfer it shall include objective f(9) in addition to its five (5) objectives.
  1. To permanently preserve open space or natural features because of their exceptional characteristics, or because they can provide a permanent transition or buffer between land uses.
  2. To permanently establish land use patterns which are compatible, or which will protect existing or planned uses.
  3. To accept dedication or set aside open space areas in perpetuity.
  4. To provide alternative uses for parcels which can provide transition buffers to residential areas.
  5. To promote the goals and objectives of the Township Master Plan.

6. To foster the aesthetic appearance of the Township through quality building design and site development, provide trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.
7. To bring about redevelopment of sites where an orderly change of use or requirements is determined to be desirable.
8. To promote the goals and objectives of the Acme Township Placemaking Plan and the US-31 and M-72 Business District zoning.
9. To promote sustainable development especially on parcels with active farmland and orchards as defined by MCL 324.36201 (h), or on parcels that contain unique cultural, historical or natural features which should be preserved.

#### **19.4 USES PERMITTED**

- a. A land use plan shall be proposed for the area to be included within the PD. The land use plan shall be defined primarily by the Township Zoning Ordinance Districts that are most applicable to the various land use areas of the PD.
- b. Uses permitted and uses permitted subject to Special Use Permit approval in this Ordinance may be allowed within the districts identified on the PD plan, except that some uses may be specifically prohibited from districts designated on the PD plan. Alternatively, the Township may allow uses not permitted in the district if specifically noted on the PD plan. Conditions applicable to uses permitted subject to Special Use Permit approval shall be used as guidelines for design and layout but may be varied by the Planning Commission provided such conditions are indicated on the PD plan.

#### **19.5 HEIGHT, BULK, DENSITY AND AREA STANDARDS**

The standards about height, bulk, density, and setbacks of each district shall be applicable within each district area designated on the plan except as specifically modified and noted on the PD plan.

#### **19.6 DENSITY TRANSFER**

Acme Township encourages flexibility in the location and layout of development, within the overall density standards of this Ordinance. The Township therefore will permit residential density to be transferred from one parcel (the "sending parcel") to another (the "receiving parcel"), as provided below. For purposes of this Section, all sending parcel(s) and receiving parcel(s) shall be considered together as one PD parcel.

- a. All density transfers require a Special Use Permit approved by the Township Board, upon the recommendation of the Planning Commission, as part of a PD application. A Special Use Permit application for a density transfer shall be submitted and include:
  1. Signatures by the owners (or their authorized representatives) of the sending and receiving parcels.

2. A proposed development plan (subdivision and/or site plan) for the receiving parcel.
  3. Density calculations for both the sending and receiving parcels.
- b.** Upon receipt of a Special Use Permit application for a density transfer the Township shall determine:
1. The number of allowable dwelling units permitted on the receiving parcel(s) based on the current zoning classification.
  2. The number of eligible dwelling units allowed to be transferred to the receiving parcel(s). The transferred dwelling units shall not increase the allowable density by more than 50%.
  3. The number of allowable dwelling units permitted on the sending parcel(s) based on the current zoning classification.
  4. The number of eligible dwelling units allowed to be transferred from the sending parcel(s).
- c.** The Township Board, upon recommendation from the Planning Commission, may grant a Special Use Permit allowing the transfer to the receiving parcel(s) of some or all of the allowable residential dwelling units from the sending parcel(s) only if it finds that all of the following have been satisfied:
1. The sending parcels dwelling unit transfers are actual available dwelling units considering all limitations, including wetlands, and those units are documented.
  2. The addition of the transferred dwelling units to the receiving parcel will not increase the maximum allowable density by more than 50%.
  3. The addition of transferred dwelling units will not adversely affect the area surrounding the receiving parcel.
  4. The density transfer will benefit the Township by protecting developable land with conservation value on the sending parcel(s).
  5. The density transfer will be consistent with the sending and receiving zones designated on the Dwelling Unit Density Transfer Map. Exception may be granted by Township Board, upon the recommendation of the Planning Commission, to allow a density transfer FROM a receiving zone TO a receiving zone if:
    - a) The sending parcel(s) is deemed to contain unique natural, cultural, or historical features which should be preserved

- b) The density transfer to the receiving parcel will not place an undue hardship or strain on the Township infrastructure
  - c) The density transfer is in accordance with the Intent and Purpose of this Article
6. The parcel(s) receiving the density transfer will not exceed the land development build out (buildings, parking, setbacks, open space, etc.) prescribed by the Zoning District of the property unless waived by the Planning Commission and Township Board.
7. Sending parcel(s) satisfying the requirements this section shall be executed and recorded in the office of the Grand Traverse County Register of Deeds, reducing the number of dwelling units allowed to be constructed on the sending parcel(s) by the number of dwelling units transferred. This reduction in density shall not prevent the owner(s) of the sending parcel(s) from developing the remaining allowable dwelling units under either an open space or conventional development plan, provided that all open space requirements are satisfied. The land area subject to the land transfer will remain perpetually in an undeveloped state by means of a conservation easement, or other legal means that runs with the land, as prescribed by the Township Zoning Ordinance, and approved by the Township.

DRAFT

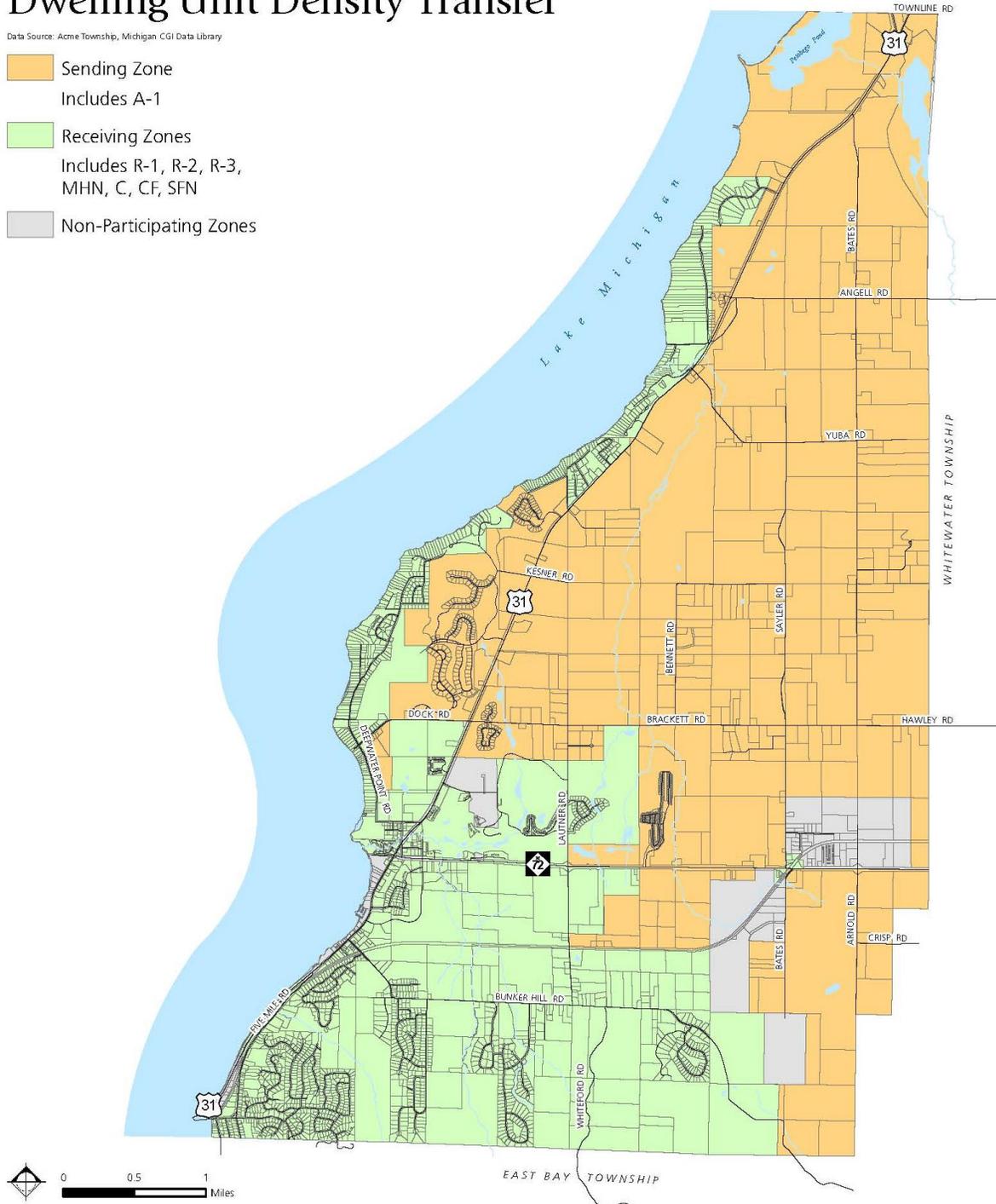
Figure 19.1: Dwelling Unit Density Transfer Map

ACME TOWNSHIP

# Dwelling Unit Density Transfer

Data Source: Acme Township, Michigan CGI Data Library

- Sending Zone  
Includes A-1
- Receiving Zones  
Includes R-1, R-2, R-3, MHN, C, CF, SFN
- Non-Participating Zones

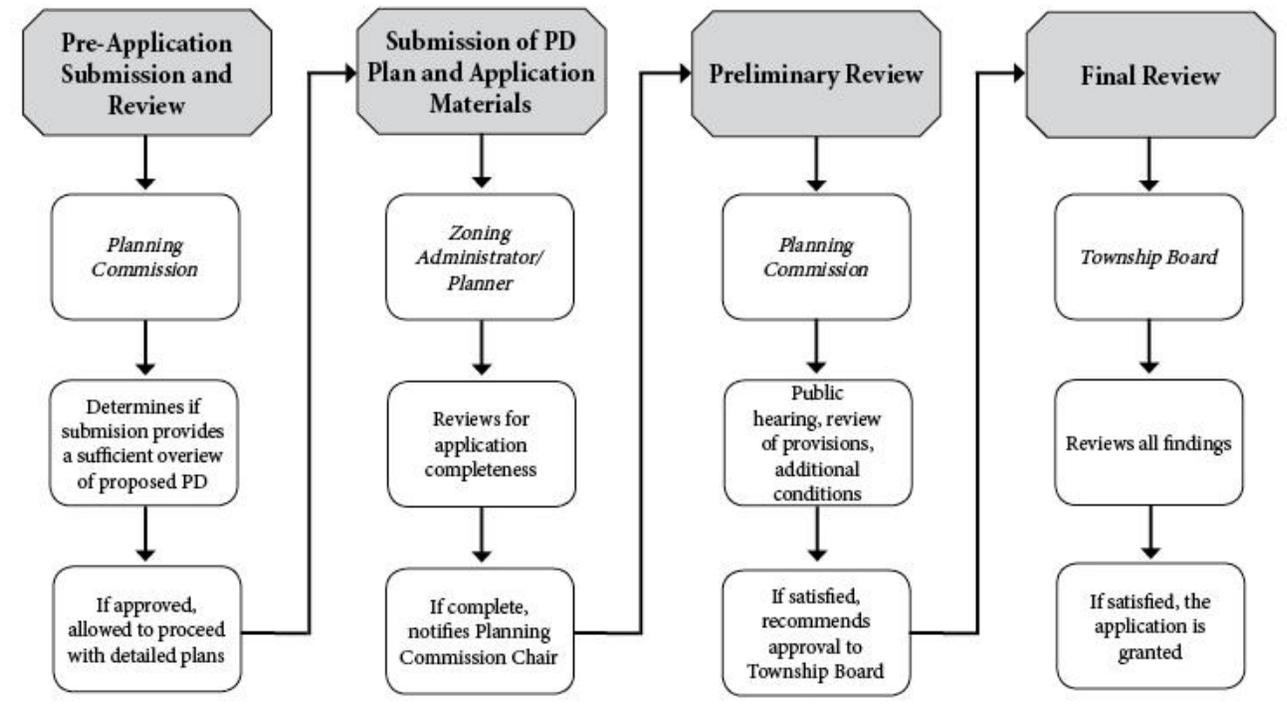


**B R I**  
Beckett&Raeder

## 19.7 PLANNED DEVELOPMENT APPLICATION SUBMISSION AND REVIEW PROCEDURES

The PD application submission and review procedures follow four (4) primary steps: 1) pre-application submission and review, 2) submission of PD plan and application materials, 3) preliminary review and recommended approval or denial of the PD, and 4) final review and approval or denial of the PD. This procedure is illustrated in the Figure 19.2 and elaborated upon in the following subsections. A PD plan involving a density transfer shall have the transfer approved through a Special Use Permit as outlined in Section 19.6 after the pre-application submission and review step.

**Figure 19.2:** Planned Development Application Submission and Review Process



### 19.7.1 PRE-APPLICATION SUBMISSION AND REVIEW

- a. Any person owning or controlling land in the Township may make application for consideration of a PD. Such application shall be made by presenting a request for a preliminary determination to whether a parcel qualifies for the PD option.
- b. The request shall be submitted to the Township and the submission shall include the information required below.
  1. Proof the criteria set forth in the Criteria for Qualification section above, are or will be met.
  2. A schematic land use plan containing enough detail to explain the role of open space; location of land use areas, streets providing access to the site, pedestrian and vehicular circulation within the site; dwelling unit density and types; and buildings or floor areas contemplated, as applicable.

3. A plan to protect natural features or preservation of open space or greenbelts.
  4. A storm water management plan incorporating low impact development (LID) water quality technologies, such as, but not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered storm water structures.
  5. The Planning Commission shall review the applicant's request for qualification. If approved, the applicant may then continue to prepare a PD Plan on which a final determination will be made.
- c. Based on the documentation presented, the Planning Commission shall make a preliminary determination about whether a parcel(s) qualifies for the PD option under the Criteria for Qualification in Section 19.3. If approved, the applicant may then continue to prepare a PD plan on which a final determination will be made. An approved request for qualification is not a guarantee for final PD approval.

#### 19.7.2 SUBMISSION OF PLANNED DEVELOPMENT PLAN AND APPLICATION MATERIALS

The application, reports, and drawings shall be filed in paper and digital format. Printed drawings shall be on 24" x 36" sheets. All drawings shall be provided to the Township in AutoCad™, MicroStation, or similar site civil / architectural drawing format requested by the Planning Commission. Other graphics and exhibits, text and tabular information shall be provided in Adobe Acrobat™ "pdf" format. All drawings shall be created at a scale not smaller than one (1) inch equals one hundred (100) feet, unless otherwise approved by the Township.

- a. A proposed PD plan application shall be submitted to the Township for review that contains the following:
1. A boundary survey of the exact acreage prepared by a registered land surveyor or civil engineer.
  2. A topographic map of the entire area at a contour interval of not more than two feet. This map shall show all major stands of trees, bodies of water, wetlands and unbuildable areas
  3. A proposed development plan showing the following, but not limited to:
    - a) Land use areas represented by the Zoning Districts listed as A-1, R-1, R-2, R-3, MHN, C, CF, or B-4 of this Ordinance.
    - b) A circulation plan including vehicular circulation patterns, major drives and location of vehicular access, parking areas, non-motorized circulation patterns, pedestrian and bicycle facilities, and cross sections of public and private streets.
    - c) Transition treatment, including minimum building setbacks to land adjoining the PD and between different land use areas within the PD.

- d) The general location of nonresidential buildings and parking areas, estimated floor areas, building coverage and number of stories or height.
  - e) The general location of residential unit types and densities and lot sizes by area.
  - f) The general location and type of all Low Impact Development (LID) storm water management technologies.
  - g) Location of all wetlands, water and watercourses, proposed water detention areas and depth to groundwater.
  - h) The boundaries of open space areas that are to be preserved or reserved and an indication of the proposed ownership.
  - i) A schematic landscape treatment plan for open space areas, streets and border/transition areas to adjoining properties.
  - j) A preliminary grading plan, showing the extent of grading and delineating any areas, which are not to be graded or disturbed.
  - k) A public or private water distribution, storm and sanitary sewer plan.
  - l) Elevations of the proposed buildings using traditional building materials shall be used. Materials such as exterior insulation finish system (EIFS), fluted concrete masonry units, concrete panels, panel brick, and scored concrete masonry unit block are not considered traditional building materials.
  - m) A written statement explaining in detail the full intent of the applicant, showing dwelling unit types or uses contemplated and resultant population, floor area, parking and supporting documentation, including the intended schedule of development.
4. A market study, traffic impact study, and /or environmental impact assessment, if requested by the Planning Commission or Board of Trustees.
  5. A pattern book or design guidelines manual if requested by the Planning Commission or Board of Trustees.
- b.** The Township Zoning Administrator and/or Planner will review the PD plan application for completeness. Once deemed complete, the Township Zoning Administrator and/or Planner shall notify the Planning Commission Chair who will place the application on the agenda for a preliminary review by the Planning Commission.

### 19.7.3 PRELIMINARY REVIEW AND APPROVAL OF PLANNED DEVELOPMENT

Planning Commission Review of Proposed PD Plan:

- a.** Upon notification from the Township Zoning Administrator and/or Planner of a complete PD plan application, the Planning Commission shall review the proposed PD plan and make a determination about the proposal's qualification for the PD option and for adherence to the following objectives and requirements:
  - 1. The proposed PD adheres to the conditions for qualification of the PD option and promotes the land use goals and objectives of the Township.
  - 2. All applicable provisions of this Article shall be met. If any provision of this Article shall be in conflict with the provisions of any other Section of this Article, the provisions of this Section shall apply to the lands embraced within a PD area.
  - 3. There will be at the time of development, an acceptable means of disposing of sanitary sewage and of supplying the development with water and the road network, storm water drainage system, and other public infrastructure and services are satisfactory.
- b.** The Planning Commission shall hold a public hearing on the PD plan and shall give notice as provided in Section 9.1.2(c).
- c.** After the public hearing and review, the Planning Commission shall report its findings and recommendations to the Township Board.

#### **19.7.4 FINAL REVIEW AND APPROVAL OF PLANNED DEVELOPMENT**

- a.** On receiving the report and recommendation of the Planning Commission, the Board shall review all findings. If the Board shall decide to grant the application, it shall direct the Township attorney to prepare a PD contract setting forth the conditions on which such approval is based. Once the PD contract is prepared it shall be signed by the Township and the applicant.
- b.** The PD contract shall become effective on execution after its approval. The PD Contract shall be recorded at the Grand Traverse County Register of Deeds' office. Once an area has been included within a plan under a PD contract, no development may take place in such area nor may any use of it be made except under such PD contract, unless under an approved amendment, or the plan under a PD contract is terminated. Amendments to the PD plan and/or PD contract shall follow the processes in Section 19.11.
- c.** An approved plan under a PD contract may be terminated by the applicant or the applicant's successors or assigns, before any development within the area involved, by filing with the Township and recording at the Grand Traverse County Register of Deeds an affidavit so stating. The approval of the plan under the PD contract shall terminate on such recording.
- d.** No approved plan under a PD contract shall be terminated after development begins except with the approval of the Board and of all parties in interest in the land.

- e. Within one year following execution of the PD contract by the Township Board, final site plans for an area embraced within the PD must be filed as provided. If such plats or plans have not been filed within the one-year period, the right to develop the approved plan under the PD contract shall be automatically terminated unless an extension is requested in writing by the applicant and authorized by the Township Board. The Township Board may authorize an extension of up to one (1) year.
- f. The termination of a PD contract involving a density transfer shall nullify the transaction and all transferred densities shall return to the original sending parcel(s). The return of the transferred densities shall be recorded at the Grand Traverse County Register of Deeds' office.

**19.8 SUBMISSION OF FINAL SITE PLANS; SCHEDULE FOR COMPLETION OF PLANNED DEVELOPMENT**

Before any permits are issued for the PD, final site plans and open space plans for a project area shall be submitted to the Township for review and approval by the Planning Commission, and where applicable the Township Board, of the following:

- a. Review and approval of site plans shall comply with Article VIII: Site Plans, as well as this Section except as otherwise modified in the approved plan and PD contract.
- b. Before approving of any final site plans, the Planning Commission shall decide that:
  1. All portions of the project area shown on the approved plan for the PD for use by the public or the residents of lands within the PD have been committed to such uses under the PD contract;
  2. The final site plans are in conformity with the approved contract and plan for the PD;
  3. Provisions have been made under the PD contract to provide for the financing of any improvements shown on the project area plan for open spaces and common areas which are to be provided by the applicant and that maintenance of such improvements is assured under the PD contract.
  4. If development of approved final site plans is not substantially completed in three years after approval, further final submittals under the PD shall stop until the part in question is completed or cause can be shown for not completing same.
- c. The applicant shall be required, as the PD is built, to provide the Township with "as built" drawings in both paper and digital format following the same provisions outlined in Section 19.7.

**19.9 FEES**

Fees for review of PD plans under this Section shall be established by resolution of the Township Board.

**19.10 INTERPRETATION OF APPROVAL**

Approval of a PD under this Section shall be considered an optional method of development and improvement of property subject to the mutual agreement of the Township and the applicant.

**19.11 AMENDMENTS TO PLANNED DEVELOPMENT PLAN**

Proposed amendments or changes to an approved PD plan and/or PD contract shall be presented to the Planning Commission following the same procedures for amending a Special Use Permit outlined in Section 9.1.4. The Planning Commission shall decide whether the proposed modification is of such minor nature as not to violate the area and density requirements or to affect the overall character of the plan, and in such event may approve or deny the proposed amendment. If the Planning Commission decides the proposed amendment is material in nature and warrants a major amendment, the Planning Commission shall hold a public hearing and make a recommendation to the Board to approve or deny the request.

DRAFT

**TOWNSHIP OF ACME**  
**NOTICE OF HEARING**

PLEASE TAKE NOTICE that the ACME TOWNSHIP PLANNING COMMISSION will hold a public hearing at its regular meeting on Monday, June 10, 2019 at 7:00 p.m. at the former Acme Laundromat, 3593 Bunker Hill Rd, Williamsburg MI 49690, to consider the following amendments to the Acme Township Zoning Ordinance.

**Zoning Ordinance Amendment 050 – Planned Development Transfer of Development Rights**

The proposed amendment would change Article XIX of the Acme Township Zoning Ordinance to remove the option of a sending zone to sending zone transfer of development rights under Section 19.6(c)(5). Additional changes proposed include amending the “Dwelling Unit Density Transfer” map to add the C: Corridor Commercial area as an eligible receiving zone along with other eligible properties rezoned under Amendment 049. Minor changes to clarify the review and approval processes and corrections to text errors will also be considered.

**Copies of the entire proposed Amendment 050 are available for inspection at the Acme Township hall.** All interested persons are invited to attend and be heard at public hearings before the Planning Commission. After each public hearing, the Planning Commission may or may not deliberate and take action. Any recommendation from the Planning Commission will go before the Township Board for final determination. The entire Zoning Ordinance is available for inspection at the Acme Township Hall from 7:30 a.m. to 6:00 p.m. Monday through Thursday. Proposed Zoning Ordinance Amendments and the entire Zoning Ordinance are also available for inspection via the Township’s website, [www.acmetownship.org](http://www.acmetownship.org).

If you are planning to attend and require any special assistance, please notify Cathy Dye, Township Clerk, within 24 hours of the meeting at 938-1350.

**Written comments may be directed to:**

Shawn Winter, Planning & Zoning Administrator  
6042 Acme Road, Williamsburg, MI 49690, (231) 938-1350, [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

T. C. RECORD-EAGLE, INC.  
120 WEST FRONT STREET  
TRAVERSE CITY MI 49684  
(231)946-2000  
Fax (231)946-8273

ORDER CONFIRMATION

Salesperson: DENISE LINGERFELT Printed at 05/14/19 10:08 by dling

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Acct #: 6 Ad #: 519783 Status: New  
ACME TOWNSHIP Start: 05/26/2019 Stop: 05/26/2019  
CATHY DYE, CLERK Times Ord: 1 Times Run: \*\*\*  
6042 ACME ROAD STDAD 3.00 X 4.65 Words: 303  
WILLIAMSBURG MI 49690 Total STDAD 13.95  
Class: 147 LEGALS  
Rate: LEGAL Cost: 142.40  
# Affidavits: 1

Contact: Ad Descrpt: LEGAL NOTICE TOWNSHIP OF  
Phone: (231)938-1350 Given by: EMAIL SHAWN WINTER  
Fax#: (231)938-1510 P.O. #:  
Email: jzollinger@acmetownship.org Created: dling 05/14/19 09:26  
Agency: Last Changed: dling 05/14/19 10:08

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PUB ZONE EDT TP START INS STOP SMTWTFS  
RE A 97 W Sun 05/26/19 1 Sun 05/26/19 SMTWTFS  
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No refunds or rebates will be issued if you cancel your ad prior to the stop date.

We appreciate your business.

(CONTINUED ON NEXT PAGE)

T. C. RECORD-EAGLE, INC.  
120 WEST FRONT STREET  
TRAVERSE CITY MI 49684  
(231)946-2000  
Fax (231)946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 05/14/19 10:08 by dling

-----  
Acct #: 6

Ad #: 519783

Status: New

**LEGAL NOTICE  
TOWNSHIP OF ACME  
NOTICE OF HEARING**

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Shawn Winter, Planning & Zoning Administrator  
6042 Acme Road, Williamsburg, MI 49690, (231) 938-1350,  
[swinter@acmetownship.org](mailto:swinter@acmetownship.org)

May 26, 2019-1T

519783



<b>Acme Township Planning &amp; Zoning Report No. 2019-13</b>			
Prepared:	June 5, 2019	Pages:	1
Meeting:	June 10, 2019	Attachments:	Yes
Subject:	DRAFT Acme Township Community Master Plan (2019)		

- 
- Project:** DRAFT Acme Township Communtiy Master Plan (2019)
- Request:** Public Hearing and Consideration of Adoption
- Applicant:** n/a
- Owner:** Acme Township Planning Commission

---

A public hearing scheduled for the June 10, 2019 Planning Commission meeting to consider the adoption of the DRAFT Acme Township Community Master Plan (2019). The attached staff report and supporting documents prepared by Beckett & Raeder provide an overview of the public comments that have been received, suggested actions, a suggested motion for consideration, and a sample resolution for adoption.

**Date:** 06.05.19

**From:** Shawn Winter, Planner  
**To:** Karly Wentzloff, Chair, Acme Township Planning Commission  
6042 Acme Rd, Williamsburg, MI 49690

**Project:** Acme Township Community Master Plan (2019) Adoption

**Enclosed:** DRAFT Acme Township Community Master Plan (2019)  
Public Comment – Paul Thwing, TCAPS  
Public Comment – Dr. David Steffey, Property Owner  
Future Land Use Map – updated 04.18.19  
Sample Resolution for Adoption

  
initiative

**Overview:**

The Acme Township Planning Commission passed a motion at the March 11, 2019 meeting requesting the Board of Trustees review and distribute the DRAFT Acme Township Community Mater Plan (2019) for the sixty-three day public comment period. The Board of Trustees reviewed the DRAFT plan at their April 2, 2019 and passed a motion to distribute the plan and notices for public comment. The Planning Commission also set a public hearing for June 10, 2019 to consider adoption of the plan. The Township received two written public comments during that period.

**Public Comment:**

The first was received via email from Paul Thwing, Director of Capital Projects & Planning for Traverse City Area Public Schools (TCAPS) in reference to the Bertha Vos playground being included in Figure 9. Recreation Facilities Map (p. 20). His correspondence claimed the playground has been dismantled and TCAPS has no current plans for the property. A site visit determined the playground was in fact still present, just without the swings on the swing set. The correspondence was shared with the Planning Commission at the May 13, 2019 meeting and discussed. There was consensus from the Planning Commission to leave the Bertho Vos playground in the map since it is still present, the neighborhood children utilize the open space, and the fact that the map in Figure 9 is from the previously adopted Acme Parks Master Plan 2019-2023. No action recommended on this item.

The second comment was a written letter sent by Dr. David Steffey regarding the change on the Future Land Use Map (Figure 20, p. 65) for the property he owns east of Bartlett Rd, north of the VASA Trailhead (parcel no. 28-01-111-012-10). The draft plan suggests changing the future land use category from Urban Residential to Recreation/Conservation. This recommended change is

Beckett & Raeder, Inc.  
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Ann Arbor, MI 48103

Petoskey Office  
113 Howard Street  
Petoskey, MI 49770

Traverse City Office  
148 East Front Street, Suite 207  
Traverse City, MI 49684

Toledo  
419.242.3428 ph

734 663.2622 ph  
734 663.6759 fx

231 347.2523 ph  
231 347.2524 fx

231 649.1065 ph  
231 944.1709 fx



initiative

due to the sensitive natural features identified on the parcel, including a tributary of Acme Creek and its associated wetlands, the current use of the property due to the existing VASA 3K Meadows Loop trail easement, and the existing uses on the surrounding parcels which includes Grand Traverse County Parks & Recreation-owned parcels to the north and south. This creates a continuous belt of Recreation/Conservation land along portions of Acme Creek where in the past it was disjointed. The letter was presented to the Planning Commission at the May 13, 2019 meeting and discussed. Staff and counsel reviewed the letter and its concerns and determined the change on the Future Land Use Map does not change the current zoning of the property or its current development rights. Furthermore, the Recreation/Conservation future land use category does not prescribe the elimination of development rights, but rather recommends context-sensitive land development options such as open space preservation or planned unit development. The existing reasons for why the future land use category was changed would still be applicable and reviewed under any development plan submitted to the Township. Staff and the Township Supervisor met with the property owner to hear his concerns and discuss the reasons for the change. No action recommended on this item.

Additional public comment was made in person by John Pulcipher regarding his property on the west side of US-31 adjacent to the LochenHeath development. Mr. Pulcipher was concerned with the with Agricultural designation in the Future Land Use Category given the property is surrounded on three sides by LochenHeath and the preferred alignment of the Traverse City to Charlevoix trail on the west side of US-31. His concerns were presented to the Planning Commission at their April 8, 2019 meeting. There was a consensus that Mr. Pulcipher's concerns regarding the agricultural viability of this property were valid. The Future Land Use Map has since been updated to change the future land use category of this property from Agriculture to Resort Residential, a new category that includes LochenHeath. The edited Future Land Use Map has been enclosed for reference. Staff recommends replacing the Future Land Use Map in the draft plan with the edited version dated April 18, 2019.

**Master Plan Adoption Process:**

The Planning Commission may close the public hearing at the June 10, 2019 meeting or choose to leave it open for future meetings. If a decision to close the public hearing is made the Planning Commission may choose to adopt the plan if they are satisfied with the draft plan, with or without edits, or take no action if they feel the draft needs significant revisions that should take place and come before them at a later meeting.

If the Planning Commission chooses to close the public hearing and is satisfied with the draft plan and any proposed edits, the draft plan will need to be adopted through a resolution by a roll call vote supported by a majority of the Planning Commission membership. A sample resolution has been included for reference.

**Suggested Motion for Consideration:**

Motion to replace Figure 20. Future Land Use Map on page 65 of the DRAFT Acme Township Community Master Plan (2019) with the edited Future Land Use Map updated April 18, 2019.

**Resolution for Adoption:**

See enclosed sample.



initiative



# Acme Township

community master plan 2019

Reserved for Signed Adoption

# ACKNOWLEDGEMENTS

## *Acme Township Board of Trustees*

Jay B. Zollinger, Supervisor

Cathy Dye, Clerk

Amy Jenema, Treasurer

Jean Aukerman, Trustee

Darryl Nelson, Trustee

Paul Scott, Trustee

Doug White, Trustee

## *Acme Township Planning Commission*

Karly Wentzloff, Chairperson

Steve Feringa, Vice-Chairperson

Marcie Timmins, Secretary

Beth Balentine

Daniel VanHouten

Dan Rosa

Doug White, Trustee

## *Acme Township Planning & Zoning*

Shawn Winter, Administrator

DRAFT 2019

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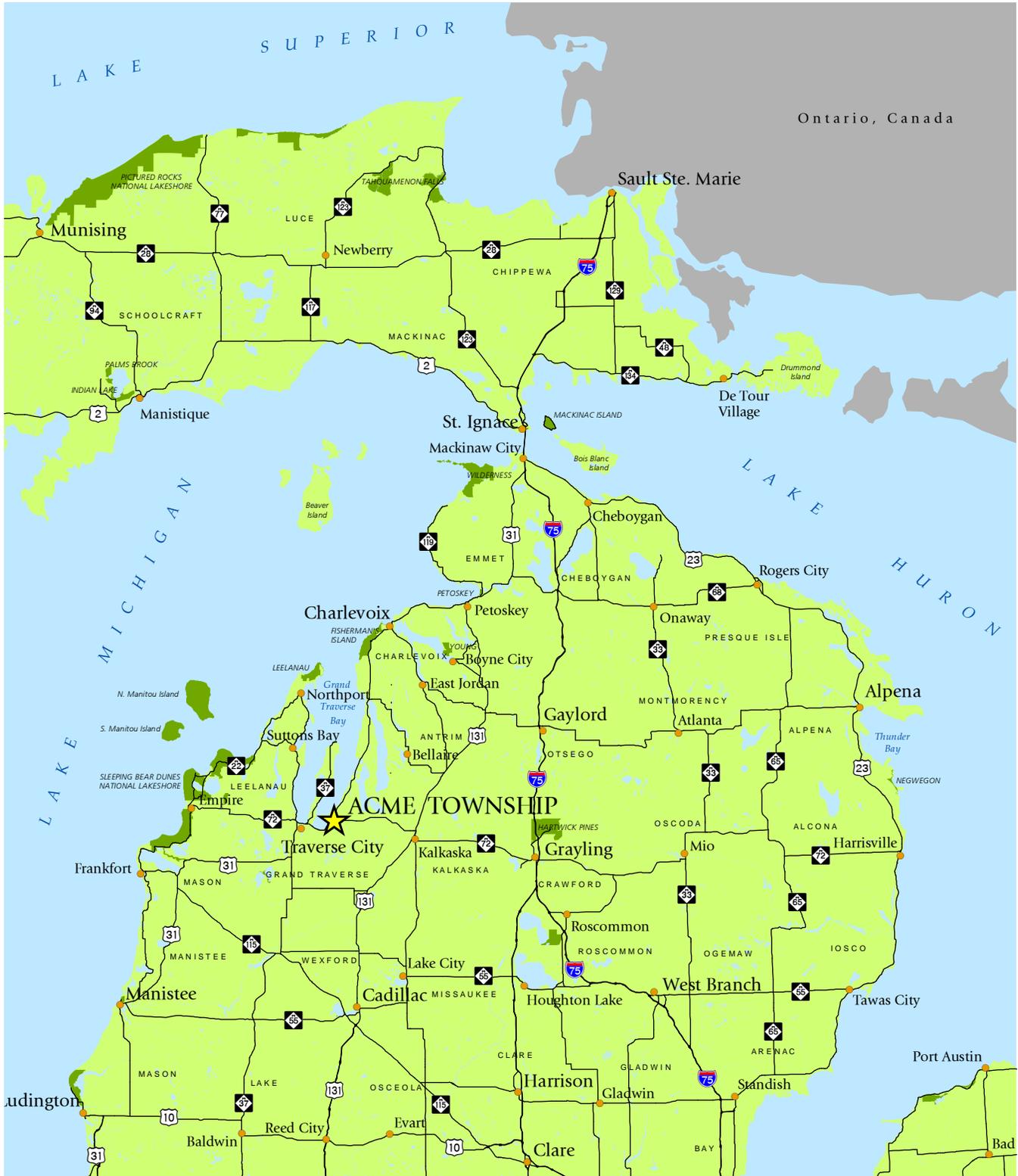
# INTRODUCTION



*Photo: Karly Wentzloff*

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Figure 1. Regional location map



## REGIONAL CONTEXT

Acme Township is located in the northwest quadrant of Michigan’s Lower Peninsula, abutting the East Arm of the Grand Traverse Bay. The lands surrounding the Bay constitute the Grand Traverse region, with topography characterized by forests, productive farmland, rolling hills formed by glacial activity, and copious inland lakes, streams, and wetlands. As these characteristics have shaped the settlements that grew up among them, the region has become known for its agricultural products, its “resort” quality, and its abundance of recreational opportunities.

Antrim, Benzie, Grand Traverse, Kalkaska, Leelanau, and Wexford Counties came together in 2007 to launch a comprehensive and far-reaching planning initiative called The Grand Vision. Three years of intensive public participation yielded six guiding principles and a new web of partnership networks across the region. Acme Township’s position at the intersection of US-31 and M-72 has brought it to the attention of the Grand Vision’s “Growth and Investment” principle.

### Grand Vision Principles

#### Transportation

A regional multi-modal transportation system that supports energy conservation

#### Energy

Sustainable-energy uses in construction, transportation and economic development

#### Natural Resources

Protected and preserved water, forests, natural and scenic areas

#### Growth and Investment

Unique and vibrant communities that strengthen the local economy

#### Food and Farming

Local farms and regional food systems as a viable part of our communities

#### Housing

A diverse mix of regional housing choices with affordable options

***“Growth and Investment areas are based on the existing development pattern, zoning, community assets like schools and post offices, and infrastructure. In these areas, growth consists of existing towns and established contiguous areas of a township where infrastructure and services are available. Land use in these areas are of a mixed-use village form and provide excellent opportunities for new businesses and housing modeled after the region’s pattern of traditional towns and villages.”***

— A Master Plan for Grand Traverse County, 2013

## PLAN SNAPSHOT

The Acme Township Community Master builds upon two decades of active community engagement revolving around the previous amendment to the 1999 Community Master Plan, revised in 2009, and updated most recently in 2014; community efforts focused on the acquisition and redevelopment of the East Bay shoreline and waterfront as presented in the US-31 Placemaking Plan; and the recently updated Acme Township Five-Year Parks and Recreation Master Plan, last adopted in 2018. In order to define key community initiatives and strategies, the Acme Township Community Master Plan uses information gleaned from the previous body of planning work; a community-wide survey; collaborative, ongoing efforts with representatives from the agricultural and business communities; and the changes to land use, both physically and in policy, that have occurred since 2014.

Some of the key ideas advanced in this updated Acme Township Community Master Plan include:

1. Significant public infrastructure investments, specifically public water and sanitary sewer within the sanitary district where future growth and development will be concentrated. The Township will continue collaboration with the Grand Traverse Band of Ottawa and Chippewa Indians on these infrastructure projects. Another key capital project will be the development of a new Fire / EMS station and Township Hall.
2. Development of the new Mixed Use Village to facilitate mixed housing and mixed use neighborhood-scale development within the historic Acme Village platted area.
3. A focus on nonmotorized connectivity for both cyclists and pedestrians. The planned Acme Connector Trail and Traverse City to Charlevoix Trail will provide important connections for transportation and recreation purposes. Planned sidewalk infrastructure investments along US 31 are also a high priority.
4. Continued implementation of the Acme Township Placemaking Plan. The Township will work with public agencies and private developers to ensure placemaking investments are made in coordination with new development, specifically along US-31, as well as M-72.
5. Prioritization of farmland preservation and cultivation of farming as a viable business in the Township. The Township will continue the Purchase of Development Rights (PDR) and Transfer of Development Rights (TDR) programs while encouraging other agricultural opportunities that are based on local food and fruit production.
6. Protecting the Township's natural and freshwater resources by adopting a new stormwater ordinance which includes an emphasis on low impact development. Another important element is continued collaboration with the Watershed Center and the Grand Traverse Band of Ottawa and Chippewa Indians on E. coli and other water quality monitoring in East Bay and the Acme and Yuba Creek tributaries, and at nearby stormwater outflows.
7. Policies and partnerships that facilitate diverse and affordable housing options that meet the changing needs of Acme residents.

LAND USE CATEGORIES	2014 COMMUNITY MASTER PLAN	2019 COMMUNITY MASTER PLAN
CONSERVATION AND RECREATION	Sustain the integrity of Acme Township’s natural ecosystems and natural resources, such as its creeks, streams, wetlands, forests, and Grand Traverse Bay shoreline, and to provide quality, safe public recreation sites, such as beaches and water access points, camping sites, hiking trails, ball fields, and other sports facilities.	Same objectives from 2014. The 2019 Future Land Use map reflects the same areas identified in the 2014 Future Land Use map revision slightly expands the conservation and recreation areas to improve habitat and recreational connectivity.
AGRICULTURE	Create a long-term business environment for agriculture in Acme Township. Ensure that agriculture contributes to the character of Acme Township and to Acme Township’s and Grand Traverse County’s economies, now and in the future; prevent the loss of agricultural lands by encouraging the use of PDR and TDR programs and other means.	Same objectives from 2014. The 2019 Future Land Use map keeps the agricultural land designations the same as in 2014.
RURAL RESIDENTIAL	Provide limited and low density residential development in the rural areas of the Township where sensitive ecosystems and special natural land features such as steep slopes, creeks, and streams are prevalent.	Same objectives from 2014. The 2019 Future Land Use map keeps the same amount of land classified as rural residential.
URBAN RESIDENTIAL	Encourage the development of quality, high-density residential living, and affordable living that will minimize the encroachment of such development on farms, forests, and environmentally sensitive areas.	Same objectives from 2014. The 2019 Future Land Use map slightly reduces the Urban Residential land area to make way for the Mixed Use Village and expanded Conservation and Recreation.
COMMERCIAL	Provide for commercial development in ways that will create an economically healthy and thriving environment for the benefit of all Acme residents and visitors to the Township, and provide for commercial establishments that not only supply goods and services but also offer employment opportunities to Acme residents. Encourage new commercial growth in high-density areas of the Township.	Same objectives from 2014. The 2019 Future Land Use map reflects the same areas identified in the 2009 Future Land Use map revision.
LIGHT INDUSTRIAL & WAREHOUSING	Provide for non-intrusive industrial operations in high density areas that stimulate the economic vitality of the Township, but do not negatively impact the surrounding area, and provide employment opportunities for residents of the Township and surrounding region.	Same objectives from 2014. The 2019 Future Land Use map slightly expands the area designated for Industrial.
TOWN CENTER	Build a network of shops as well as service, civic, and cultural facilities and residential neighborhoods in a concentrated mixed-use area that is user-friendly to the Township resident, the general consumer, and the visitor alike.	Land use objectives from 2014 are similar. The 2019 Future Land Use map reflects the same areas identified in the 2014 Future Land Use map revision.
MIXED USE VILLAGE	Not applicable	This newly created Future Land Use category designates a special area for mixed housing and mixed use neighborhood-scale development within the historic Acme Village platted area.

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# CONTEXT



## COMMUNITY CHARACTER

As in nearly all communities, Acme Township's varied history is etched into its landscape. Wild rice growing on the Great Lakes signaled to the people of the Three Fires Confederacy of Ottawa, Ojibwa, and Pottawatomi that their journey from the east coast of Turtle Island (North America) had come to an end, and they settled among the sugar maple, elm, basswood, yellow birch, hemlock, and white pine<sup>2</sup> forests. They were traders whose routes stretched across the continent and included the French and English arrivals from the other side of the Atlantic Ocean, even as wars among the Europeans broke out on their lands. The Three Fires Confederacy signed treaties in 1836 and 1855 ceding the land in Michigan to the newly formed United States government while reserving the use of their homeland, but federal recognition of the tribe did not come until more than a century later in 1980.<sup>3</sup>

Among the European pioneers in Michigan was Village of Acme founder L.S. Hoxie, who in 1858 began transforming most of the native forested landcover into building material for the rapidly expanding Chicago area and the American west. The sudden wealth generated from this export gave rise to development: commerce, industry, and the buildings, roads,

and rails to serve them arrived in concert with Acme's lumber boom.

Those fortunes waned with the tree supply in the early 1900s. The cut-over condition of the land saved prospective farmers from having to clear their fields, although it soon became apparent that not all of the soils were suitable for agriculture. As the 20<sup>th</sup> century waxed, the area found its niche in fruit production on the fertile lands while state and federal conservation departments acquired the marginal or infertile acreage, and elements coalesced to set the stage for what we now call Acme's scenic rural character.

That character has long been prized by urban refugees seeking respite in water and woods. Chicago tourists promptly used their newly-invented cars to venture up Lake Michigan's eastern coast, and in 1911 the West Michigan Lakeshore Highway Association began planning the first improved highway from Chicago to Mackinaw City to support a neophyte resort industry.<sup>4</sup> That road, called the West Michigan Pike and advertised as "Lake Shore all the Way," was completed in 1922, literally paving the way for new lodging, restaurant, and attraction opportunities. It became part of the state highway system as M-11 and joined the national highway system four years later as US-31. M-72's east-west route across the peninsula grew more slowly, but its route

between Traverse City and Kalkaska via Acme had been established by 1946 and fully paved by 1959.<sup>5</sup>

Today, the northern and interior portions of Acme Township are lined with productive farms, protected by one of only two Purchase of Development Right (PDR) programs in the county. Commercial development hugs the trunklines and continues to intensify as development of the Grand Traverse Town Center gets underway. The Grand Traverse Resort, owned by the Grand Traverse Band of Ottawa and Chippewa Indians, offers a getaway experience complete with premiere golf, spa, and casino. The southwest corner of the Township provides growing Traverse City with suburbs, while residential development of a more rural nature dots the northern East Bay shoreline. And the heart of Acme Township, at the junction of US-31, M-72, and the East Bay, is undergoing intensive revitalization to connect commerce, recreation, and livability as part of the Acme Shores Placemaking Project.

## DEMOGRAPHICS

Statistics can be overwhelming. As interesting as any individual fact may be, poring over pages of charts and percentages can rapidly descend into confusion. Figure 2 presents a "demographic dashboard" to illustrate key Acme Township facts and place them in

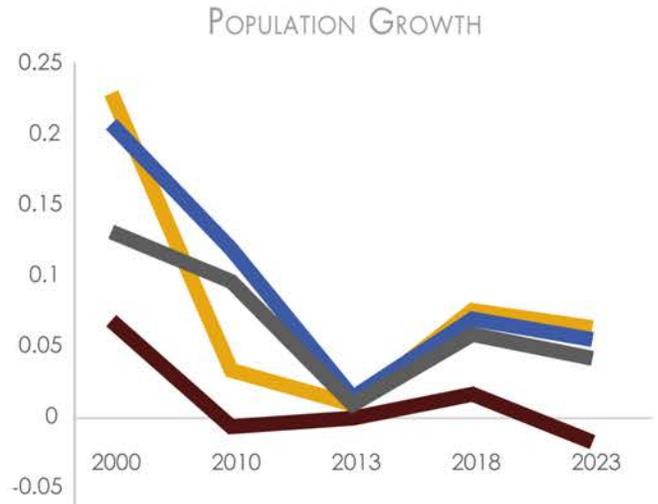
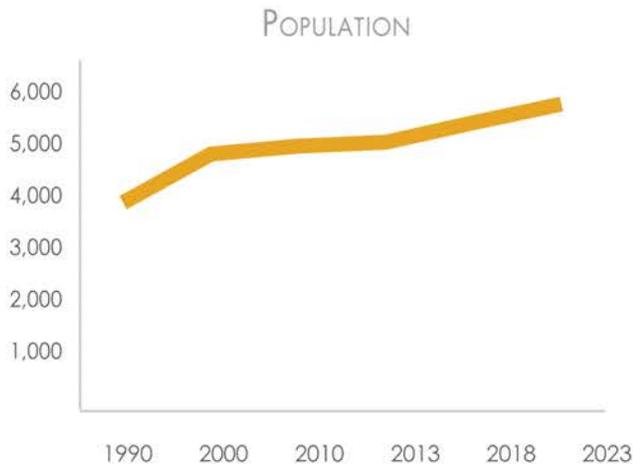


Photos: top, Grand Traverse Resort; bottom, Karly Wentzloff; right, www.saugatuck.com

# Acme Township Dashboard

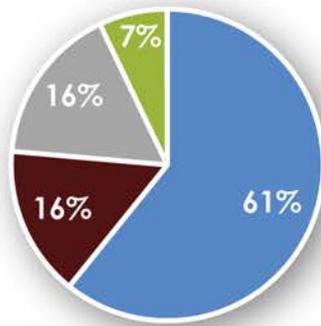
Figure 2. Demographic dashboard

Key for population and prosperity index graphs:  
■ Acme Township    ■ Grand Traverse County    ■ Michigan    ■ United States



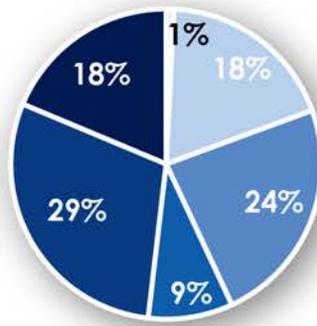
## HOUSING

- Owner Occupied
- Renter Occupied
- Vacant: For Sale, Rent etc.
- Seasonal, Recreational, and Occasional Use



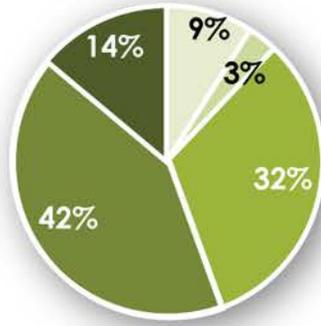
## EDUCATION

- No High School Diploma
- High School Graduate (includes equivalency)
- Some College, No Degree
- Associate's Degree
- Bachelor's Degree
- Graduate or Professional Degree



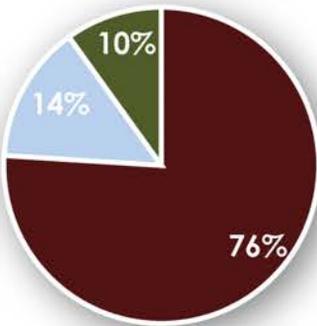
## HOUSEHOLD INCOME

- Very Low Income (less than \$25,000)
- Low Income (\$25,000 - \$34,999)
- Moderate Income (\$35,000 - \$74,999)
- High Income (\$75,000 - \$149,999)
- Very High Income (\$150,000 and up)

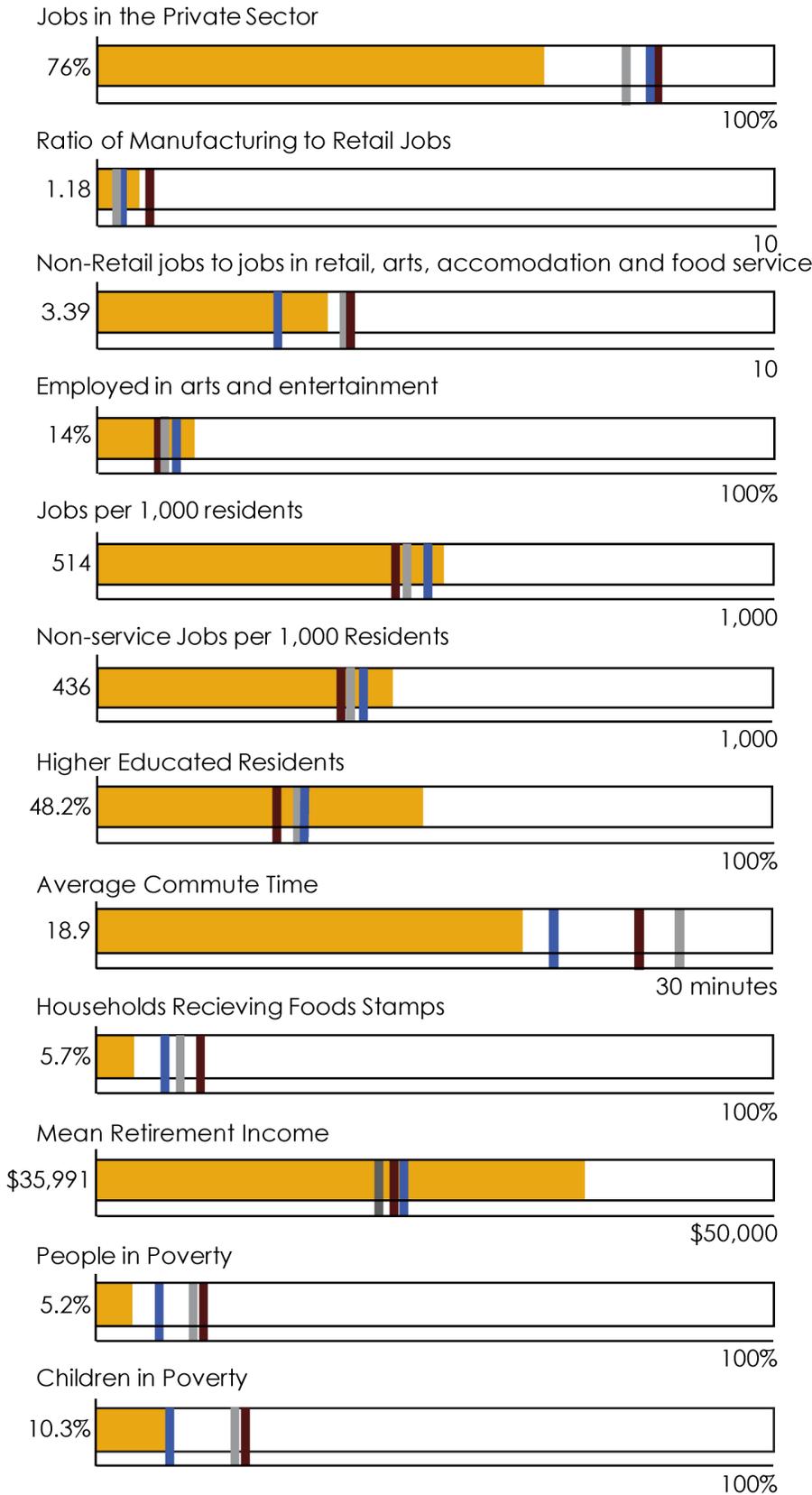


## WORK

- Private wage and salary workers
- Government workers
- Self-employed



PROSPERITY INDEX



The information in the Households column is shown in red when the number is lower than it was in the 2014 Master Plan and shown in green when higher. As these datasets are derived from population samples, the blue figure represents the margin of error as identified by the U.S. Census Bureau.

HOUSEHOLDS

(+/-165) **+217** 1,999  
total households  
(+/-0.19) **-0.16** 2.29  
person average household size  
(+/- \$19,091) **+\$13,800** \$209,300  
owner-occupied median home value  
(+/- \$128) **+\$145** 927  
median gross rent  
(+/-7.1%) **-10%** 65%  
housing units with a mortgage

EDUCATION

(n/a) **-6.6%** 17.3%  
population enrolled in school  
(+/-0.6%) **+1.9%** 99.2%  
high school graduate or higher  
(+/-5.7%) **-1%** 37.1%  
bachelor's degree or higher

COMMUTING

(+/-3.6%) **+1%** 96%  
workers who commute  
(+/-3.6%) **+4%** 94%  
commuters who drive alone  
(+/-2.6%) **+0.2%** 18.9  
minute average commute

EMPLOYMENT

(+/-1.4%) **-11.1%** 1.5%  
unemployment rate  
(+/-1.4%) **-2.8%** 10.1%  
civilian veterans

INCOME

(+/- \$7,073) **-\$11,827** \$65,043  
median household income  
(+/- \$4,451) **+\$4,761** \$36,684  
median earnings for workers  
(+/- \$10,422) **-\$9,309** \$53,315  
male full-time, year-round earnings  
(+/- \$11,557) **-\$1,157** \$41,221  
female full-time, year-round earnings  
(+/-3.3%) **-1.3%** 5.2%  
population in poverty  
(+/-10.1%) **+3%** 10.3%  
children in poverty

TOP INDUSTRIAL SECTORS

(+/-5.9%) **+7%** 29%  
education, health care, social assistance  
(+/-4.9%) **-6%** 14%  
arts, recreation, accommodation, food  
(+/-5.2%) **-1%** 11%  
manufacturing

context relative to Grand Traverse County, the State of Michigan, and the United States.

### Population

According to the 2016 American Community Survey estimates, Acme Township had about 4,612 residents, a 237-resident gain over the 2000 count. This 5% rate of growth was comparable to Grand Traverse County as a whole (5.4% growth rate) and a relatively rapid rate of growth compared to the United States (3.1% growth rate). Acme Township avoided becoming part of Michigan’s notorious population loss during this timeframe (-0.4%). The township’s residents make up 1,999 households with an average household size of 2.29 persons, slightly smaller than in Grand Traverse

County (2.46), the rest of Michigan (2.51), and the United States (2.64). The percentage of households made up of families is similar to Grand Traverse County and the State of Michigan (64.5% vs. 64.2-66.7%), but the number of husband-wife families is slightly higher when compared with these aggregate populations (50.9% vs. 47.5-51.2%), though fewer households have children in them (13.6% vs. 16.6-17.7%).

The median age of 48.3 years is older than the County or State, and more households have at least one individual aged 65 or older than in the larger populations (37.6% vs. 23.2%-27.4%). Figure 3 shows that on closer inspection, there is spike in the number

Figure 3: Population by age (right)

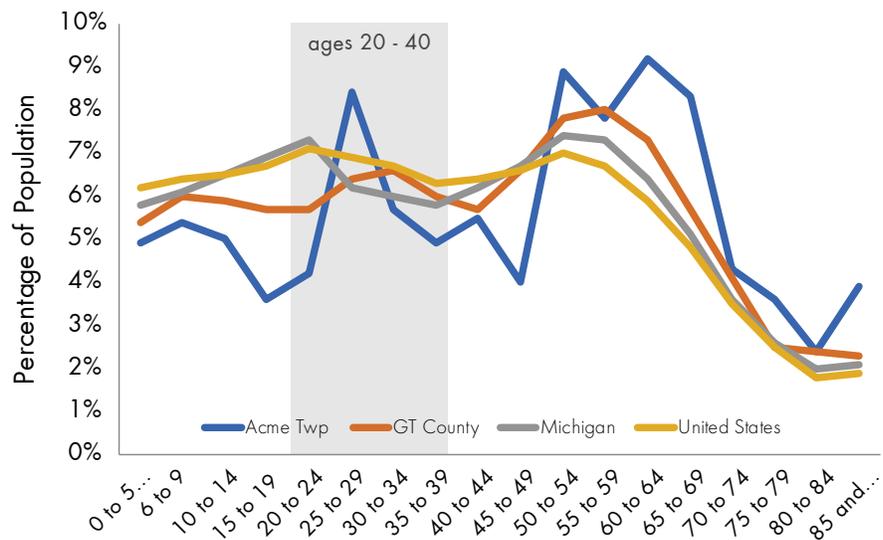


Table 1: Disposable income by age of householder

	AGE OF HOUSEHOLDER						
	<25	25-34	35-44	45-54	55-64	65-74	75+
Total households	34	194	234	326	483	428	277
Average disposable income	\$59,762	\$70,812	\$88,937	\$99,784	\$90,842	\$79,684	\$50,722
Share of households	1.72%	21.66%		40.94%		35.68%	
Share of disposable income	1.26%	21.44%		47.42%		29.88%	
Disposable income/households	0.73	.99		1.16		0.84	

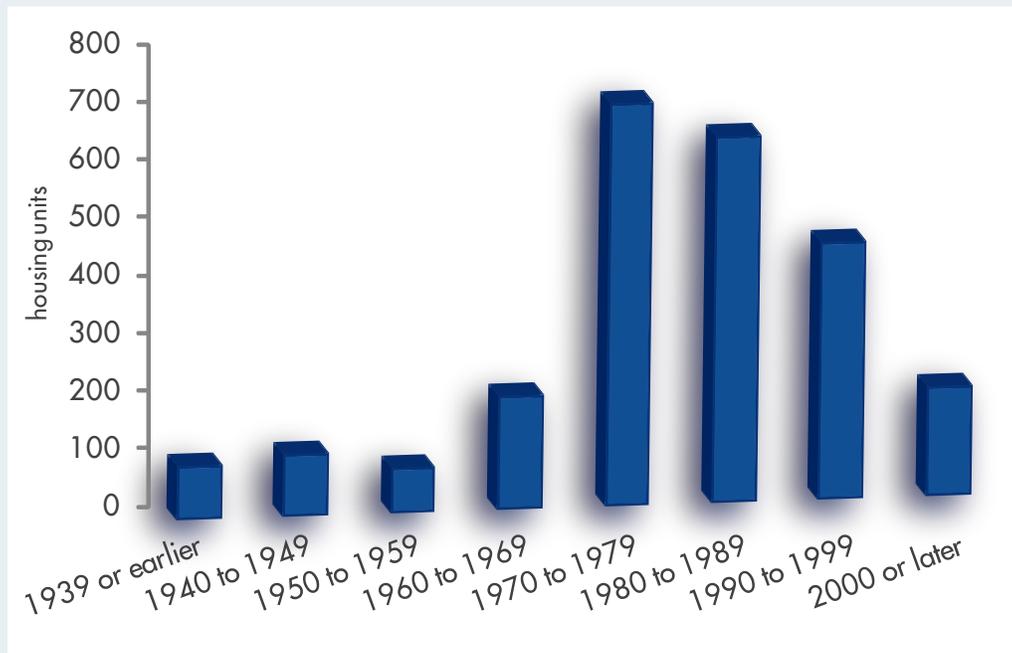
of Acme residents between about 25 and 30 years old. A deviation from patterns witnessed in Grand Traverse County, Michigan, and the United States. This situation merits attention because the 20 to 40 age group is among the most productive. They are one of the two age brackets which contribute a greater share of Acme Township’s total disposable income than the share of households it represents. Input gathered from previous public engagement sessions in 2012 indicated that community stakeholders and business owners saw a need to attract younger families to the community.

### Housing

Housing construction history paints a vivid picture of Acme Township’s explosion in popularity circa 1970.

Before that year, the township had a total of 473 homes. Nearly twice as many were built in the following decade alone, followed by two more decades of frantic development before the housing crisis returned the pace back to the level of the 1960s. According to the 2016 American Community Survey, there are 2,612 dwelling units in the Township, 1,999 of which are occupied. Sixty-five percent of the unoccupied units, or 15.2% of all housing structures, are for seasonal or recreational use, a number that is significantly higher than in other populations and provides hard evidence of the Township’s appeal to those looking for a getaway. Most homes (76.5%) are heated by utility gas, with a few using bottled, tank, or liquid petroleum gas (6.5%), electricity (12.5%), or fuel oil (2.3%), or wood

Figure 4: Housing unit construction over time



(1.5%).

Most of the homes (79.5%) are owner-occupied, and 65% of the owner-occupied homes have a mortgage. The median home value is \$209,300. Twenty-three percent of the structures are multi-family units, with the rest either detached or attached single-family units. The median gross rent is \$927, and 44.3% of households are paying more than 30% of their household income for rent. The rental vacancy rate of 27.7% is four times that at the county, state, and national levels, perhaps reflecting seasonal rentals.

### *Education*

Acme Township is home to a well-educated populace. It comes remarkably close to achieving universal secondary education: 99.2% of residents have at least a high school diploma, compared with 87% nationwide. Well over one-quarter (29.5%) have bachelor's degrees. An impressive 18.7% of Acme Township's population holds a graduate or professional degree.

### *Income*

The strong link between education and income is demonstrated in Acme Township, where the median household income of \$65,043 is 117% of the national median. About 12% of households earn more than \$150,000 per year, nearly twice the rate of Grand Traverse County

(6.8%) and about two-thirds the rate within the State of Michigan (8.1%). Due to Acme's higher median age, slightly more people have Social Security or retirement incomes than in the State of Michigan and United States (34.5% vs. 34% and 30.2%, respectively).

The ratio of manufacturing workers to retail workers in Acme is 1.18 (253/214), indicating an economy balanced between the two sectors and therefore best able to adjust to changes in either. Because the median earnings of retail workers are about 57% of the median earnings of manufacturing workers, the slight tilt toward manufacturing is advantageous to the workforce.

Just under 12% of all workers are employed in the arts, entertainment, recreation, and accommodation fields, a figure that is similar to Grand Traverse County as a whole (10%), but considerably larger than in Michigan, or the US (5.4% and 6.5%, respectively). These fields consistently rank among the lowest-paid. Among all workers in the US, the median income in this sector (\$15,968) is 46% of the overall median income (\$34,557), and among year-round, full-time workers, it is 60%. In Acme Township, the ratio of all workers' earnings in art, entertainment, recreation, and accommodation to overall median earnings is similarly small at 53%. However, this pay

gap is significantly smaller among full-time, year-round workers in those fields, where median earnings in this sector comprise 74% of the overall median. This is primarily due to the Grand Traverse Resort and its workforce. According to the Traverse City Area Chamber of Commerce, the Grand Traverse Resort is the third largest employer in the Grand Traverse County with 943 employees. The median earnings for all female workers in Acme Township are about 65% of the median earnings for all male workers. This wage gap is slightly greater than in Grand Traverse County (68%), and the United States (71%), but slightly lower than in Michigan overall (64%). It is considerably smaller among full-time, year-round workers at 77.4%, which is a similar ratio compared to the aggregated populations (range: 76 – 79.5%). These numbers offer a somewhat homogenized view of what turns out to be a quite varied landscape. Educational services, health care, and social assistance had by far the greatest number of workers, and there the females' median earnings are also outweighed by males' (\$34,464 vs. \$47,891) despite making up over three quarters of the workforce. Additionally, womens' earnings comprise only 68% of mens' in the manufacturing industry.

Poverty is low in Acme Township at 5.2%, as compared with 9.8%

Table 2. Income by industry and gender

	ALL WORKERS					FULL-TIME, YEAR-ROUND WORKERS								
	% of workforce	Median earnings	% male	Median earnings: male	% female	Median earnings: female	Female earnings as % of male earnings	% of workforce	Median earnings	% male	Median earnings: male	% female	Median earnings: female	Female earnings as % of male earnings
Civilian employed population 16 years and over		\$39,470	47%	\$46,841	53%	\$30,589	65%		\$48,569	54%	\$53,234	44%	\$41,221	77%
Public administration	2%	\$77,841	100	\$77,841	0%	-	-	3%	\$79,432	100%	\$79,432	0%	-	-
Transportation, warehousing, utilities	1%	-	100	-	0%	-	-	2%	-	100%	-	0%	-	-
Information	2%	\$63,558	83%	\$64,327	17%	-	-	2%	-	100%	-	0%	-	-
Finance and insurance, real estate, rental, leasing	9%	\$54,458	38%	\$68,188	38%	\$53,333	78%	14%	\$54,875	39%	\$68,188	61%	\$53,750	79%
Construction	3%	\$31,786	83%	\$33,250	18%	-	-	3%	\$43,750	100%	\$43,750	0%	-	-
Professional, scientific, management, administrative, waste management	10%	\$37,803	29%	\$41,250	29%	\$35,469	86%	9%	\$42,578	43%	\$44,167	57%	\$39,141	63%
Manufacturing	11%	\$55,380	86%	\$56,359	14%	\$17,292	30%	14%	\$55,163	92%	\$55,109	-	-	-
Educational services, health care, social assistance	29%	\$43,039	27%	\$47,891	71%	\$34,464	72%	21%	\$57,813	32%	\$120,385	68%	\$57,500	48%
Agriculture, forestry, fishing, hunting, mining	2%	\$45,391	81%	\$46,016	20%	-	-	2%	-	100%	-	0%	-	-
Wholesale trade	6%	\$77,841	64%	\$95,294	36%	\$19,760	21%	6%	\$96,618	77%	\$96,397	23%	-	-
Retail trade	9%	\$27,222	30%	\$52,874	70%	\$17,301	33%	11%	\$29,115	35%	\$53,167	65%	\$17,244	32%
Arts, entertainment, recreation, accommodation, food services	14%	\$17,222	51%	\$17,222	49%	\$21,604	125%	12%	\$36,250	35%	\$47,993	65%	\$35,196	73%
Other services, except public administration	2%	\$36,513	49%	-	51%	-	-	2%	1	61%	-	39%	-	-

for Grand Traverse County, 16.3% for Michigan, and 15.1% for the country overall. Child poverty, which is often substantially higher than the overall poverty rate due to a single household's economic circumstances affecting several children simultaneously, is also low at 10.3%. The highest poverty rates in the township occur in female-headed households (54%), and female-headed households with dependent children are more than eleven times as likely as the general population to have had an income below the poverty level in the last 12 months.

### *Businesses*

According to the proprietary Esri Business Analyst software, 215 businesses in Acme Township employ 4,905 persons. There are only 3,850 employed Acme Township residents. The jobs-to-workers ratio is 1.27, meaning that there is a net influx of persons into the Township for work.

Almost half of Acme Township jobs (46.3%, or 2,270 workers) are in the 27 businesses with the North American Industrial Classification System (NAICS) code of "Accommodation and Food

Services," and nearly another fifth (17.6%) provide "other services, except public administration." "Retail trade" has the highest number of businesses at 38 (17.7% of all businesses) and the third highest number of employees at 631 (12.9% of the workforce). "Construction" and "Professional, scientific, and technical services" each occupy just under 10% of the share of total businesses (19 and 16, respectively) and about 2% of the share of employees (89 and 99, respectively).



*Photo: Grand Traverse Resort*

## NATURAL AND CULTURAL RESOURCES

One of Acme Township’s largest and most obvious natural resources is its approximately 9.5 miles of shoreline along the East Grand Traverse Bay. Proximity to water is a draw for nearly any human habitation, and the turquoise expanse of Lake Michigan is a unique jewel. The seemingly limitless supply of freshwater has been of critical value since the early days of Acme’s settlement, and its moderating effect on the otherwise harsh northern Michigan climate is similarly fundamental. Less essential, but still pivotal, benefits include stellar aesthetics and recreational opportunities. The Grand Traverse Bay as a whole has anchored attraction to the Traverse City area throughout the region’s developed history, and Acme Township’s position on the “east coast” is a great privilege.

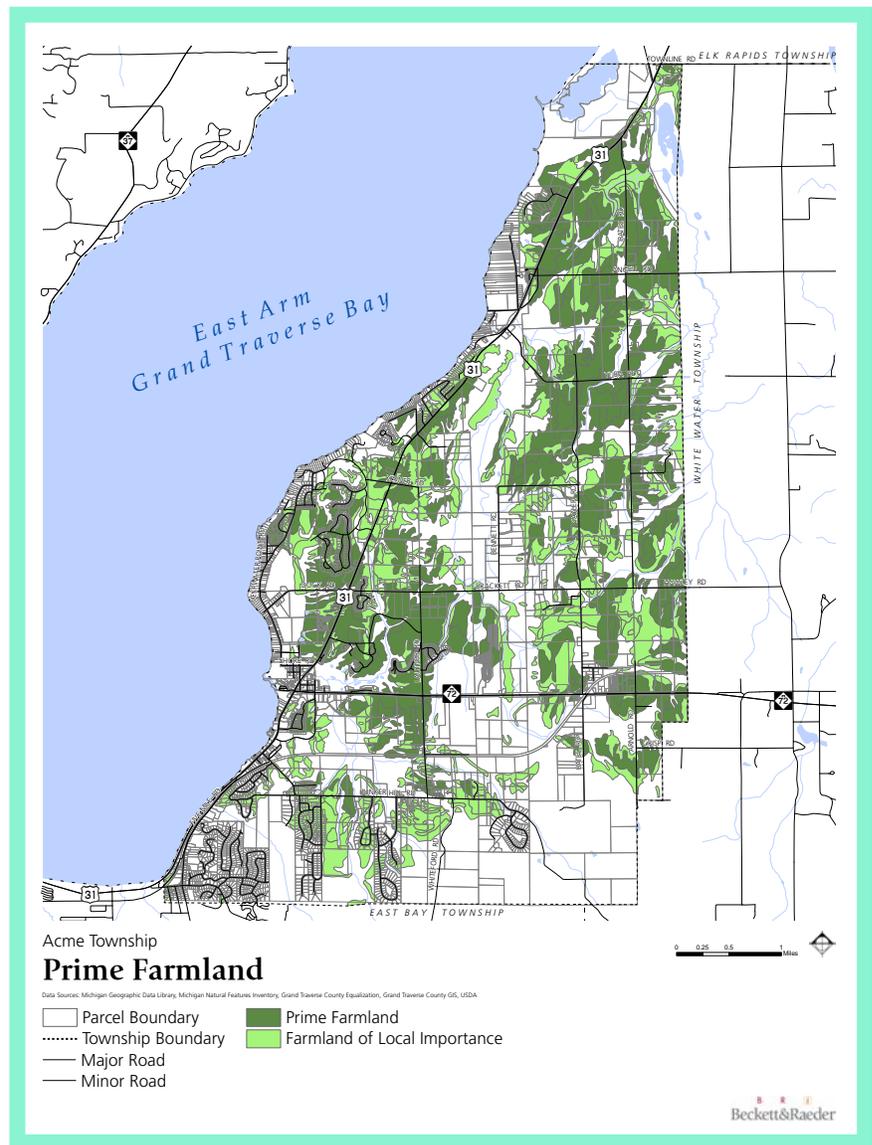
Another of Acme’s important resources is its fertile soil. According to the Natural Resources Conservation Service of the United States Department of Agriculture, parts of Acme Township are classified as “prime farmland” (Figure 5), meaning the land has the best combination of physical and chemical characteristics for the production of food, fiber, and forage. Producing primarily apples and cherries, much of this land is either already protected by Acme’s Purchase of Develop-

ment Rights program or eligible to receive such protection.

Acme’s topography includes a series of glacial moraines running north and south through the Township (Figure 5). These ridgelines and valleys are part of the region’s

distinct setting, offering lovely views of the surrounding landscape and breathtaking vistas of East Bay. They also play an important role in soil fertility by affecting water drainage and air circulation patterns. Figure 6 shows the areas where elevation changed at least 30 meters over a

Figure 5. Prime farmland map





Pulcipher's Ohio schoolteacher wife that he would build her a fine house for accompanying him so far from home.<sup>11</sup> It remained in the family until Pulcipher's niece ceased to occupy the house in 1964, and then the un-plumbed, un-electrified house stayed vacant for the next 35 years. The Veliquette family bought the property toward the end of the 20<sup>th</sup> century in order to add the 150 acres of Pulcipher cherry orchards to the 250 adjacent acres the Veliquettes already owned. The family decided to embark on a full restoration of the home in 1999. It was placed on the National Register of Historic Places in 2001 and is now operated as the Country Hermitage Bed and Breakfast.



Figure 7. John Pulcipher House

The Music House (Figure 8, top) showcases restored automated musical instruments in a 1909 barn and 1905 granary refurbished to include parlors, a general store, and a saloon. Opened to the public in 1983, it has introduced over 450,000 visitors to instruments from the late 18th century to the 1950s. The Yuba School (center), built with one room in 1860 and expanded to two rooms in 1900, is undergoing restoration coordinated by the Yuba Historical Society. When completed, it's intended to serve as a museum and cultural community center, with displays relating to education, the 1860s, and the Native American families living in the Village at its founding. The East Bay Masonic Lodge Hall (bottom) was the original Acme School building. It became the property of Fred Vos in the early



Figure 8. From top, Music House, Yuba School, Masonic Lodge  
Photos: Karly Wentzloff

1950s in exchange for Mr. Vos’ donation of land and money to build a new school named in honor of his wife, Bertha Hoxsie Vos. Donated in turn to the Masons for a meeting center, it now serves as a community gathering place.

## OPEN SPACE AND RECREATION

Acme Township owns four of the existing recreation facilities shown in Figure 9 and hosts 19 more which are owned by the county, the state, the Grand Traverse Regional Land Conservancy, and the private sector. The largest Acme Township facility is Yuba Creek Natural Area, a 413-acre preserve with trails in the northern portion of the Township. Deepwater Point Natural Area, much smaller at 14.9 acres, also has trails and includes East Bay frontage as well as parking. Further north on the shoreline is Saylor Park, a 22-acre facility with three shelters, picnic tables, grills, horseshoe pits, volleyball, and restrooms.

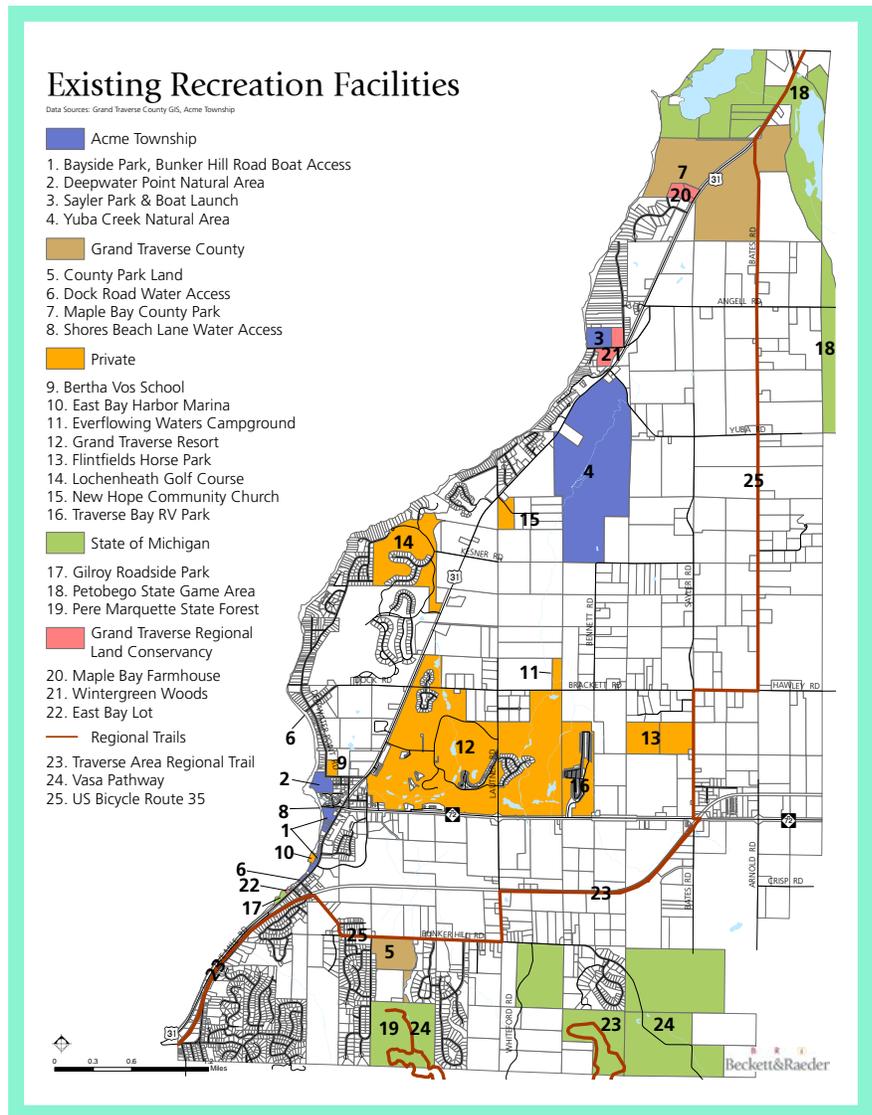
The 14.7-acre Bayside Park is Acme’s smallest park, but it is the most centrally located at the intersection of US-31 and M-72. The site and its surrounding area are at the center of the “Acme Shores Placemaking Plan,” which began as a citizen-driven strategy to acquire and preserve shoreline properties as public parks and beaches for future generations (Figure 10). The three acquisition

phases have been completed, and the shoreline corridor has been master planned to determine and incorporate citizen preferences, address multimodal traffic concerns along the thoroughfares, and lay the groundwork for beneficial connections between local businesses and the emerging public

space. Adjacent property has been acquired and has expanded the park, growing its size by roughly three acres.

Grand Traverse County owns three boat launches in Acme Township, located at Dock Road, Yuba Park Road, and Shores Beach. It

Figure 9. Recreation facilities map



also owns the Bartlett Park Vasa Trailhead, which is part of the Traverse Area Recreation and Transportation (TART) trail system, and provides restroom facilities to serve them.. The State of Michigan offers 612 acres of natural open space at the Petobego State Game Area and 2.2 acres of beach access, picnic tables, grills, and restrooms at MDOT Gilroy Roadside Park. The Grand Traverse Regional Land Conservancy owns the Maple Bay Farmhouse, Wintergreen Woods Preserve, and the East Bay Lot, all offering vital access to preservation

lands or East Bay.

Private recreation facilities provide a greater diversity of uses. The largest is the 1,400-acre Grand Traverse Resort, with 54 holes of golf, indoor and outdoor tennis and pools, and beach frontage. Equestrian amenities including stables and competition fields are available at Bates Horse Park. New Hope Community Church’s 20-acre grounds have softball, soccer, and all-purpose fields, two tennis courts, playground equipment, and restrooms, while the International

School at Bertha Vos has playground equipment and a winter ice skating rink and hut. Boat access is obtainable at East Bay Marina, and rustic camping is available at Everflowing Water Campground.

## COMMUNITY FACILITIES

In addition to the four Township-owned parks previously mentioned, two other community facility systems warrant Acme’s attention: water and sewer, and the Township Hall/Fire Department site (Figure 11).

Presently, no public water facilities

Figure 10. Marina and Bayside Park master plans



are available along portions of M-72 and US-31 in Acme Township. The Grand Traverse Band of Ottawa and Chippewa Indians has provided private water facilities for their Grand Traverse Resort, and has contracted to provide water to the Grand Traverse Town Center. However, such piecemeal solutions are likely to be inadequate to serve future needs. The Grand Traverse Metro Emergency Services Authority fire chief has recommended that the Township needs public water for future commercial growth, citing recent problems with a new

Goodwill retail outlet on M-72 as an example. The Grand Traverse County Health Department expressed concerns about water quality, particularly as they relate to septic systems in residential development. Acme Township’s status as a regional “Growth and Investment Area” is highly predictive of greater demands on its infrastructure system, of which water and sewer are primary components. By taking the lead on the siting and construction of these infrastructure improvements, the community can both encourage development in

desired areas as well as discourage the encroachment of development into areas more suited for other uses.

Acme Township is part of a collaborative venture with other Grand Traverse Townships, and Elmwood Township in Leelanau County, known as the Grand Traverse County Septage Treatment Facility (GTCSTF), which provides Township property owners access to a sanitary sewer system and centralized treatment facility. The Grand Traverse County Department

Figure 10 (continued). Marina and Bayside Park master plans



of Public Works is the facility owner. Acme Township, East Bay Township, and Garfield Township have constituted and been served by the Grand Traverse Metro Fire Department since 1980, which reorganized in 2008 to become the Grand Traverse Metro Emergency Services Authority (MESA). At the

regional agency meeting hosted by Acme Township, MESA noted that it was looking for a location for a new fire station building. Construction of this facility in Acme Township could allow for an improved Township Hall and an opportunity to include a township library.

Acme Township Hall, located

at 6042 Acme Road, houses the Acme Township substation for MESA and Township Administration offices for the Supervisor, Treasurer, Clerk, Assessor and Zoning Administrator. A large room serves as the central board room for the Trustees, Planning Commission, Zoning Board of Appeals and other committees, for which the building was not intended. It is functionally obsolete for Township business, and it is not conducive to Township operations.

In addition to the facilities mentioned, the Township also owns and operates the Acme Township Cemetery located south of the entrance to the Grand Traverse Resort on the east side of US-31 and the Yuba Cemetery on the east side of US-31, across from Yuba Park Road.

Figure 11. Community facilities map



***“Neighborhoods, cities and regions are awakening to the importance of ‘place’ in economic development. They are planning for a future that recognizes the critical importance of quality of life to attracting talent, entrepreneurship and encouraging local businesses. Competing for success in a global marketplace means creating places where workers, entrepreneurs, and businesses want to locate, invest and expand. This work has been described as a ‘sense of place’ or ‘place-based economic development’ or simply ‘placemaking.’ Economic development and community development are two sides of the same coin. A community without place amenities will have a difficult time attracting and retaining talented workers and entrepreneurs, or being attractive to business.”***

— Former Michigan Governor Rick Snyder, 2011<sup>12</sup>

## ECONOMIC DEVELOPMENT

In keeping with the state and the region, Acme Township has embraced placemaking as the heart of its economic development strategy. It is remarkably well-suited to do so, containing within its 25 square miles a topographic and developmental diversity that encompasses four of the six “transects” presented in Figure 13. Transects are zones characterized by the level of intensity of their natural, built, and social components, arranged on a continuum from the most natural places to the most urban. This classification system, developed at the turn of the 21st century as an alternative to conventional use-based zoning systems, figures prominently in the Placemaking curriculum developed by the State of Michigan MIPlace Partnership. Additionally, these

placemaking initiatives also fit within the new economic development framework crafted by the Michigan Economic Development Corporation’s (MEDC) Redevelopment Ready Communities® program, and opportunities exist for Acme Township to become engaged with this program.

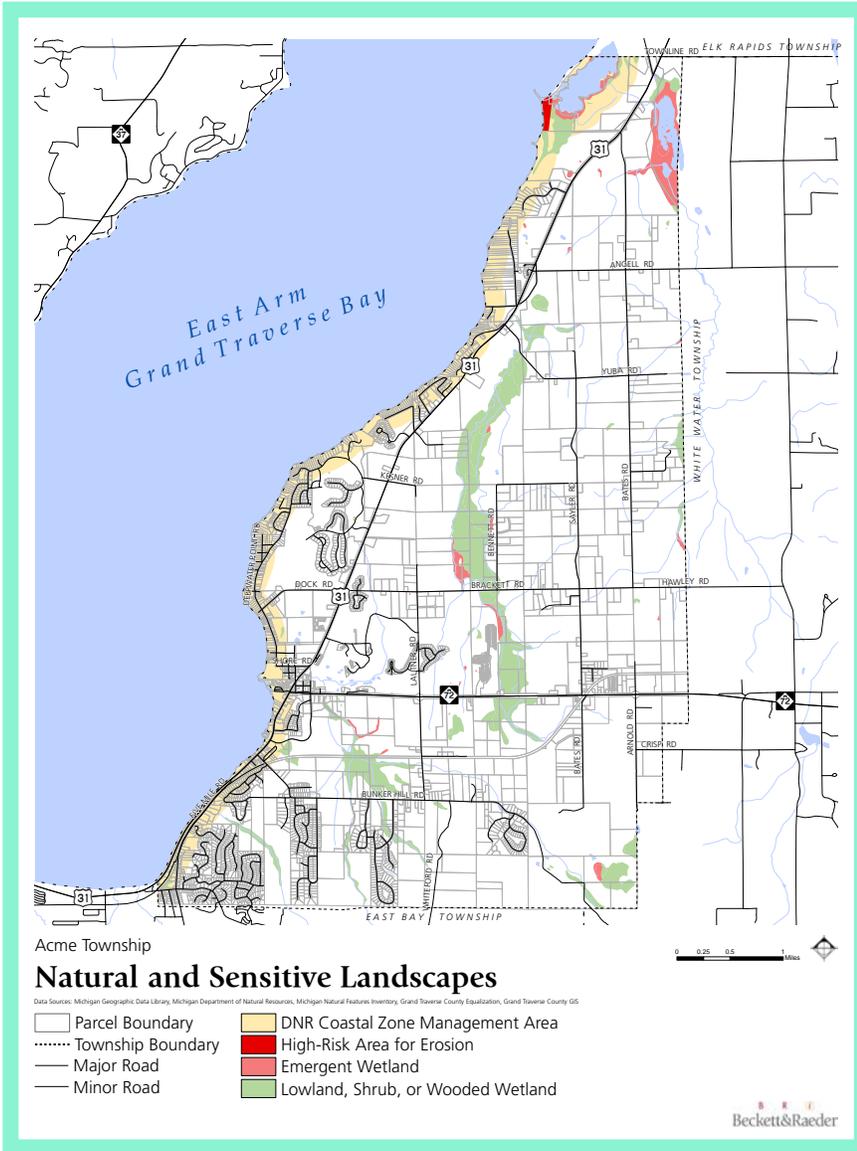
### *T1 – Natural and Open Space*

The consequences of Acme Township’s Growth and Investment Center designation may be just as profound for its pristine areas as for its built ones. As land use intensifies at the US-31 and M-72 intersection, the tendency for that intensity to diffuse itself by “sprawling” onto adjacent land is well-known and will almost certainly occur if no preventive action is taken. Currently, nearly

all of the land north of M-72 is agricultural, vacant, forested, rural residential, or conserved—and citizens like it that way. When asked about protecting natural features, a majority of residents named rural character, wildlife habitat, farmlands and orchards, water quality, and the East Bay shoreline as “high priority.”

Given the economic and environmental importance of the East Bay shoreline, it is crucial to note the existence of a high risk erosion area (HREA) located southwest of Petobego Pond, in the Petobego State Game Area, which is legally defined by the Shorelands Protection and Management Act, 1970 P.A. 245, as amended. HREAs are areas that have been documented and are expected to recede by an average of one foot or more per year. Although Acme Township only has one HREA, it is projected to recede fairly quickly

Figure 12. Natural and sensitive landscapes map



at a rate of 1.8 feet per year, and development here is therefore subject to a strict permitting and approval process. Development is unlikely currently, as the land is owned by the State and constitutes significant wetland area, but any potential future development would be highly limited and regulated. Compounding this with the Coastal Zone Management Area (Figure 12), there is a considerable need to protect and monitor this shoreline, particularly in the T1 transect.

Our understanding of the economic value of undeveloped land is changing along with the global paradigm. Since the industrial revolution, cheap land and access to resources for exploitation have been the chief business input considerations. With the advent of the knowledge economy, good talent has become a more valuable resource than cheap land in many cases. Therefore, communities wishing to attract business must begin aiming to change what they offer. Understanding why people choose to live where they do is a paramount concern to the issue

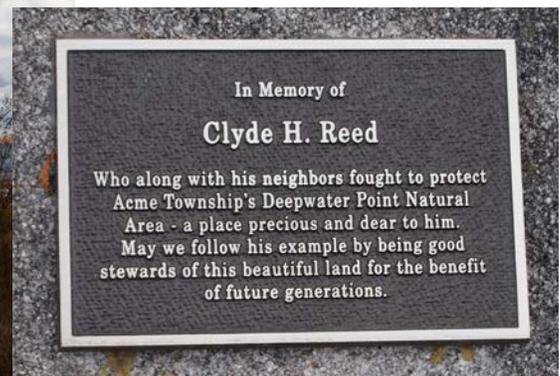


Figure 13: Transect images



## THE ACME TOWNSHIP TRANSECT

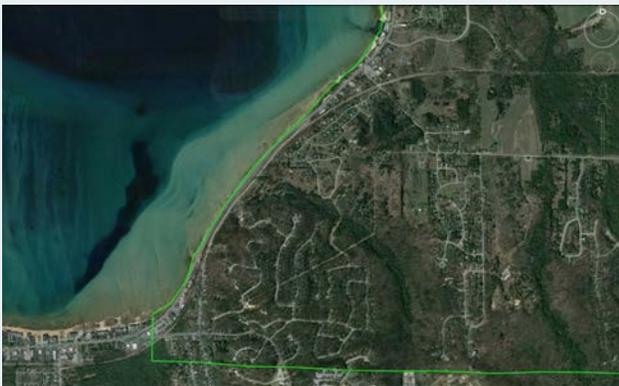
### *T1 - Natural and Open Space*

T1 land is respected on its own merit—we don't think development can improve upon what's already there. Once a community has decided which lands it wishes to designate as T1, it can then take steps to protect them and offer respectful access.



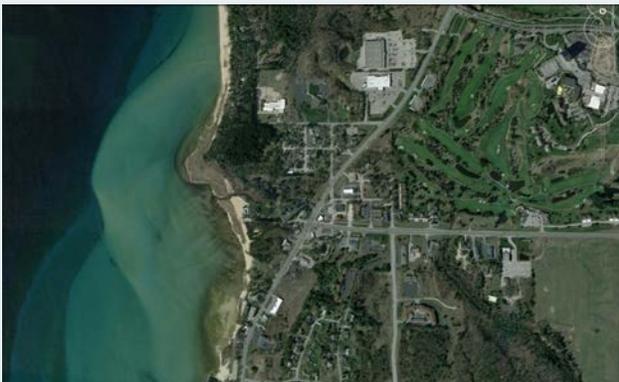
### *T2 - Agricultural*

In the T2, humans meet the land on its own terms. We gain value from its use, but its native characteristics (soil, vegetation, habitat) tell us what those uses will be. Buildings and roads relate directly to the land-based activities.



### *T3 - Residential (Suburban)*

T3 land has undergone suburban-style development. It is fairly low-density, with large residential and commercial lots and a curvilinear residential street pattern. Drivability is generally emphasized over walkability.



### *T4 - Urban Corridor*

A primary characteristic of the T4 is that it is dense enough to support commercial activity, achieved through smaller lot sizes and multiple-family residential development. In its best form, this proximity of commercial and residential development creates a walkable, "complete" environment.

Photos: Google Earth

***“Agri-tourism generates economic and social benefits to agri-tourism operators, their customers, rural communities, and the state of Michigan. Through on-site sales, value-added production, and services (i.e. school tours, corn mazes, and Halloween activities), agri-tourism yields the additional income that enables operators to maintain a “way of life” and the family farm. For its customers, agri-tourism provides a place to obtain fresh produce and experience nature with their families. For rural communities and the state of Michigan, agri-tourism generates employment and tourism and tax revenues, while helping to maintain open space and the viability of Michigan agriculture. By expanding product offerings, agri-tourism’s sales potential can be further increased while simultaneously providing visitors with greater choice. It is recommended that the state of Michigan provide further support for agri-tourism, which integrates Michigan’s second and third largest industries, agriculture and tourism.”***

— Michigan Grape and Wine Industry Council, 2010<sup>13</sup>

of economic development. Acme Township residents have articulated clearly their appreciation for the juxtaposition of the largest commercial center in northern Michigan, Traverse City, with the open vistas provided by the operating farms, orchards, and resorts.

### *T2 – Agricultural*

Approximately one-third of the existing land use in the Township is agricultural, primarily devoted to cherries and apples. Citizens have demonstrated their commitment to preserving this land use by passing a millage to support participation in the Grand Traverse County Purchase of Development Rights (PDR) program designed to offset the financial incentive of development.

Perhaps the most overt combination of agricultural activity with placemaking for economic benefit comes in the form of agricultural tourism. Often shortened to “agritourism,” the word refers to the practice of visiting working agricultural establishments for the purpose of entertainment or education. The concept is far from new to the region—Traverse City’s famed cherries were joined by grapes in the 1970s, and no less than four wine tasting rooms opened their doors by the end of that decade<sup>14</sup>—but it has grown so rapidly as a practice that the United States Census of Agriculture included it in its study

of “agricultural diversification” for the first time in 2002, and the activities so classified offered the highest average income during 2007.<sup>15</sup> Combining as it does Michigan’s second and third largest industries, this is a uniquely local economic opportunity to be supported and encouraged.

Northwest Michigan is at the forefront of a new and growing movement to do just that by linking food production, distribution, and consumption through regional “Food Innovation Districts.” A food innovation district is “a geographic concentration of food-oriented businesses, services, and community activities that local governments support through planning and economic development initiatives in order to promote a positive business environment, spur regional food system development, and increase access to local food.”<sup>16</sup> Such districts do away with a narrow, produce-and-ship focus to extend the benefits of agricultural production through the business community (clusters, retail opportunities, supply chain management, skilled workforce development) and the public at large (healthier food, stronger job market, development of a food-based cultural component). They are considered a tool for “economic gardening,” the practice of spending a community’s resources to help native businesses grow

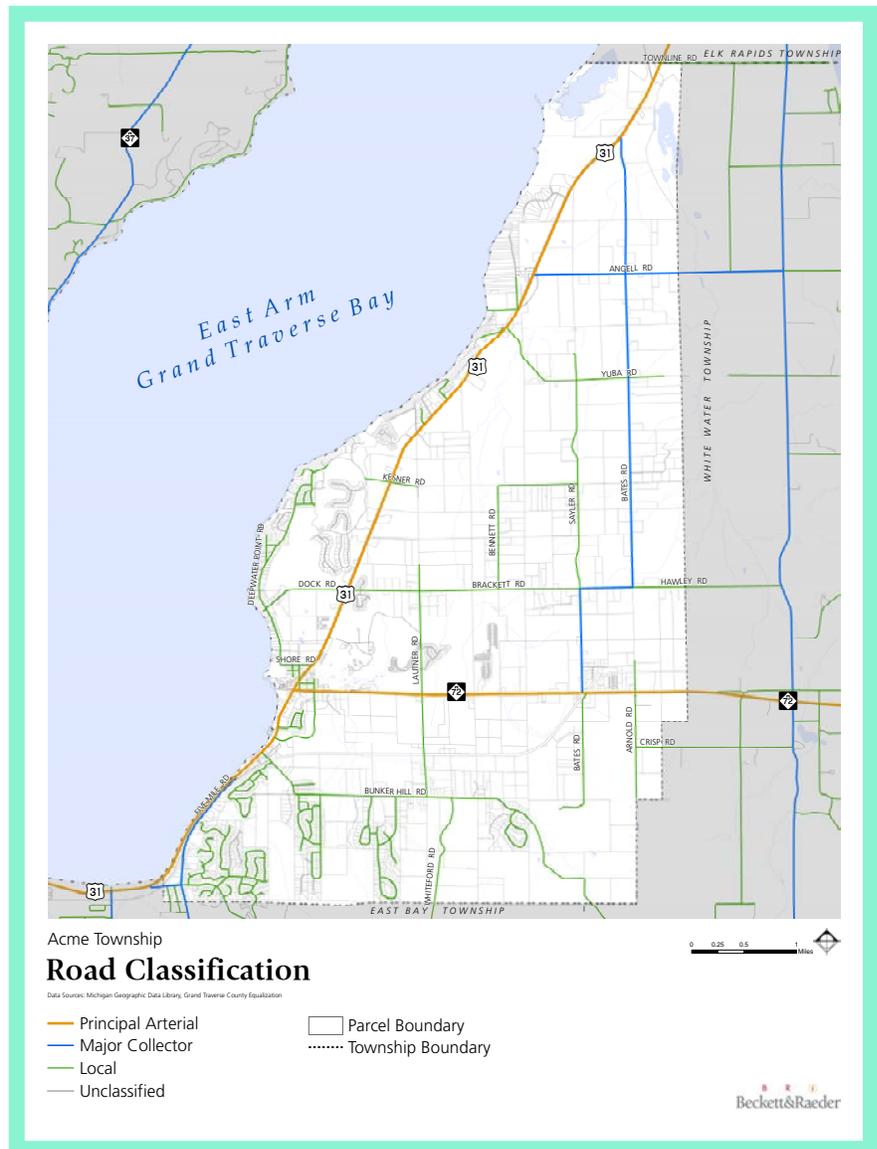
and expand rather than offering incentives to established businesses to relocate within the community (“economic hunting”).<sup>17</sup>

When United States Department of Agriculture deputy secretary Kathleen Merrigan presented her organization’s 2011 finding on food hubs, including the identification of 170 already operating across the country, she did so in Michigan and mentioned Traverse City’s Cherry Capital Foods specifically.<sup>18</sup> The Food and Farming Network makes up one of The Grand Vision’s six issue area networks. As the region focuses on development of its comprehensive Food Innovation District, individual communities with the involvement of local growers and producers can adopt a narrower focus that is particularly well-suited to their contribution.

### T3 – Residential

Residential zones are not always considered as part of the creation of an economic development strategy, but they are a critical part of a community’s economic system. They are the places that workers, shoppers, and customers must travel to and from, and thus their location and accessibility can either fuel or choke the activity. Traditional suburbs in the southern portion of the Township offer a medium-density setting attractive to many, and the fact that most travel is necessarily done by car widens residents’ comfortable reach. In addition to these traditional single-

Figure 14. Road classification map



***“Traditionally, through thousands of years of human settlement, urban streets have performed multiple functions. Mobility was one of the functions, but economic and social functions were important as well. Retail and social transactions have occurred along most urban thoroughfares throughout history. It is only in the 20th century that streets were designed to separate the mobility function from the economic and social functions.”<sup>19</sup>***

family developments, the Township intends to cultivate a “mixed housing” neighborhood type close to the new developments, to include clustered residential and open space subdivisions, small-lot residences, and apartments. These slightly more dense, diverse, and close housing options change the market base of the community by creating an expanded pool of workers and customers with an incentive to work and play nearby. As the neighborhoods, Acme Village, and Grand Traverse Town Center mature, they are envisioned to join the Grand Traverse Resort to build a cohesive, interconnected, mixed-use core in the Township.

#### *T4 – General Urban Corridor*

Strategic placemaking as an economic development approach is specifically targeted to key activity centers, transportation corridors, and nodes of intersection. Acme Township’s position at the nexus of US-31 and M-72 (Figure 15) offers two corridors and a development node, contributing significantly to its identification as a Growth and Investment Area in Grand Traverse County.

In the case of US-31 and M-72, the Grand Traverse Resort and Spa anchors the corner. Its contributions to the local economy are twofold: it draws tourist dollars from outside the community, and the Grand Traverse Band of Ottawa and Chippewa Indians is the largest

employer within the community.

US-31 and M-72 are both considered “principal arterials” by the Federal Highway Administration’s National Functional Classification System. These roads provide the highest degree of mobility available without limiting access through the use of on- and off-ramps or grade-separated intersections. Traditionally, this has meant a road design that is fully auto-centric, with wide rights-of-way and turning radii, high speed limits, and few if any accommodations for other modes of transportation. The Acme community is an excellent example of the limitations of this single-focus approach. As settlements take shape around heavily-traveled nodes in order to benefit from the activity generated there, the character of the area undergoes a shift from a place that is simply passed through to a place with its own set of diverse needs and users which are not accommodated by the principal arterial.

The Institute of Transportation Engineers has taken a bold step in recognizing these shifts by partnering with the Congress for the New Urbanism to author “Designing Walkable Urban Thoroughfares: A Context Sensitive Approach.”<sup>19</sup>

This publication expands current thinking about roadway systems beyond basic engineering for vehicular speed and volume to consider network linkages, community character, adjacent land

uses, multimodal travel choices, and environmental concerns. By making these design choices carefully, communities like Acme can continue to enjoy the benefits of their heavily-traveled location while simultaneously creating an attractive and multi-functional “place” that fosters its own economic activity.

Vacancies in the traditional business district along the US-31 corridor may signal a readiness for departure from that model and offer potential for infill redevelopment. Two large-scale commercial placemaking projects, shown in Figure 15, are underway along the M-72 corridor:

- Acme Village: This is a late-1990s planned development which focused on professional offices and health-care related businesses. Based on recent market demands, this concept may be re-visited by the owner and modified accordingly.
- Grand Traverse Town Center (formerly known as Village at Grand Traverse) is a planned mixed-use development. Components of the planned development include retail, restaurant, and entertainment uses, as well as, detached and multi-unit residential.

The shoreline urban parks system along US-31, far from being an accessory or “extra” feature, plays a defining role in Acme’s use of placemaking as an economic development strategy. Placemaking

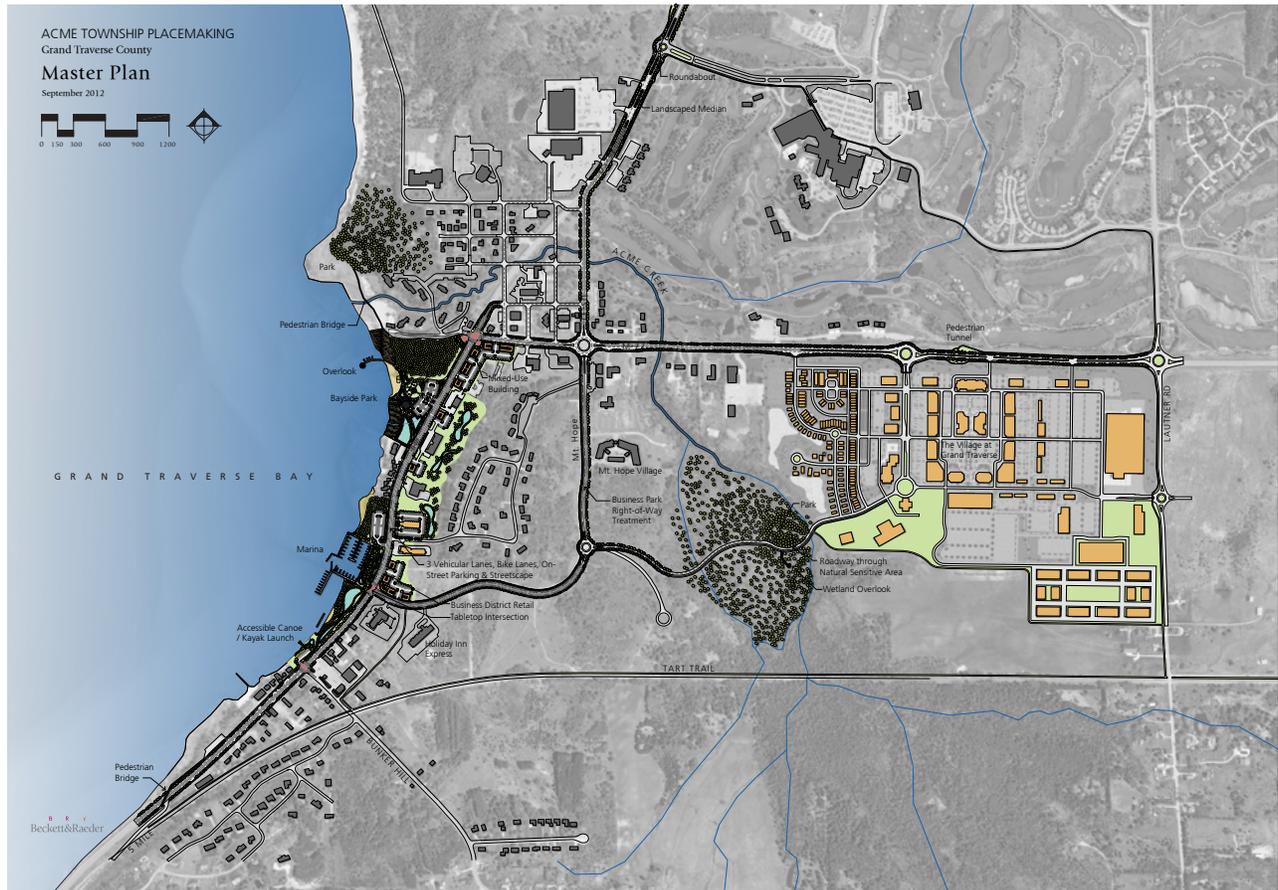
proceeds from the premise that human-scaled, well-designed spaces influence the behavior of people by attracting them, and that a critical mass of human activity yields economic benefit. The new Bayside/Marina Parks System enjoys an enormous advantage in that its creation was citizen-driven, and it has been designed with clear linkages to the adjacent business and mixed-use districts. This parks system can serve as the “face” of Acme Township, a unique and memorable feature that enforces a

brand for the overall community.

Acme Township residents cited recreation/tourism as their top priority for development (55.1%). Because the economic benefits of parkland are not represented in a single transaction, they can be easy to overlook or misunderstand, but a growing body of research has consistently documented such benefits. The Trust for Public Land’s 2003 publication “The Benefits of Parks: Why America Needs More City Parks and Open Space”

offers an overview. “Numerous studies have shown that parks and open space increase the value of neighboring residential property. Growing evidence points to a similar benefit on commercial property value. The availability of park and recreation facilities is an important quality-of-life factor for corporations choosing where to locate facilities and for well-educated individuals choosing a place to live. City parks such as San Antonio’s Riverwalk Park often become important tourism

Figure 15. Acme Township Placemaking Project master plan



draws, contributing heavily to local businesses.”<sup>20</sup> The paper’s text and bibliography go on to quantify parks’ further contributions to a community’s health, environment, infrastructure, and social fabric.

### *Redevelopment Ready Communities*

Part of what drives a successful placemaking initiative is a supportive base of local businesses and establishments, particularly in areas of higher-density and nodes of commercial activity. With some existing vacancies and opportunities along US-31 for infill development, Acme Township can benefit from becoming engaged

in the Redevelopment Ready Communities® (RRC) program through MEDC.

Communities, including Townships, can easily become engaged in the program by aligning their planning work with the RRC Best Practices, designed to streamline the development approval process by improving transparency, communication, engagement, and efficiency on behalf of the Township. Creating a development approval process that is easily understood and well connected throughout documents is key to supporting interested developers. To achieve this foundation for

investment, communities follow a set of guidelines that improve their development policies, focusing on plan adoption and alignment, incorporating public participation, removing outdated zoning policies, simplifying the development review process, recruiting investors, educating local officials and administration, and identifying redevelopment ready sites, and developing an overall economic development strategy.



## CERTIFICATION PROCESS

STEP ONE  
**ENGAGEMENT**



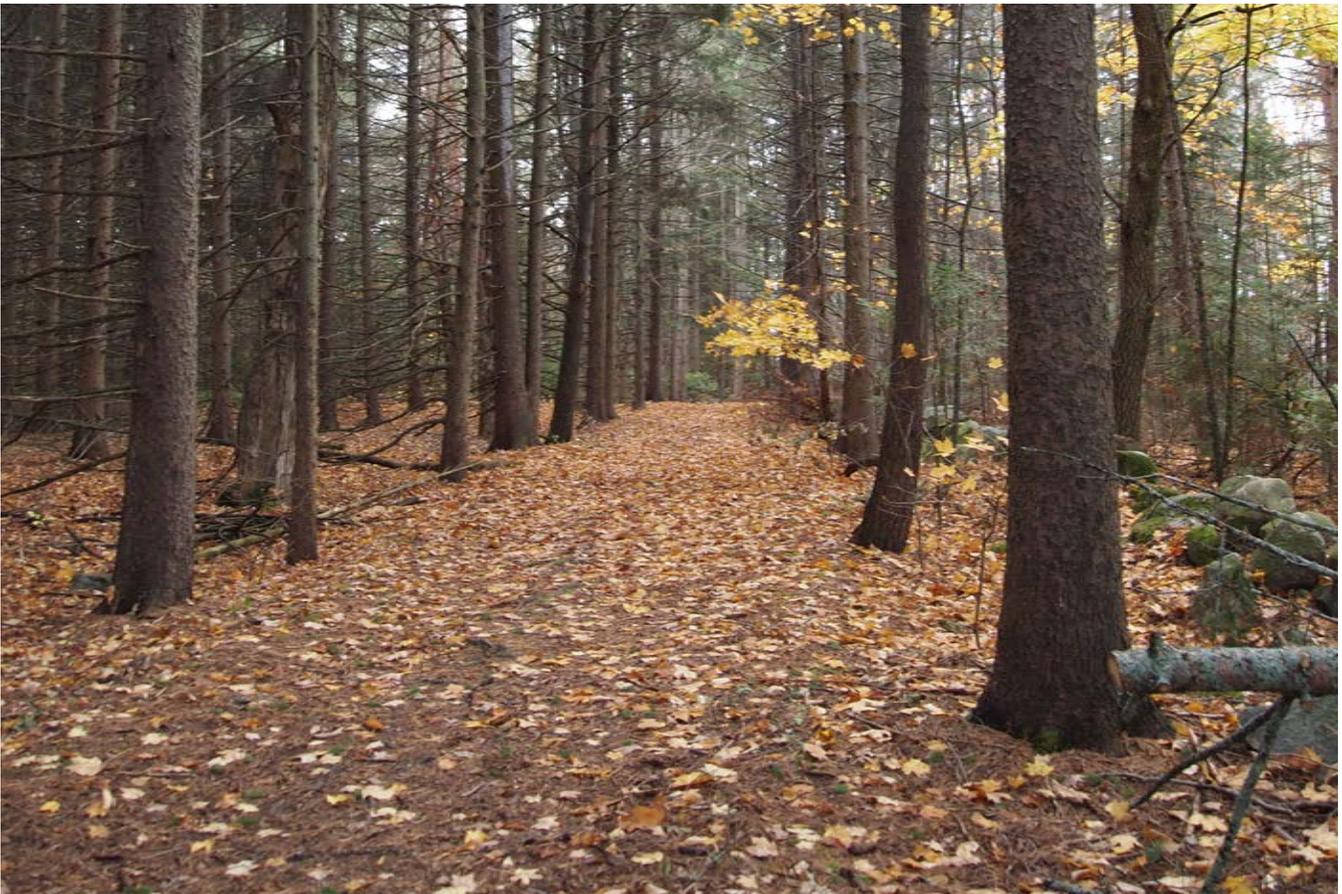
STEP TWO  
**EVALUATION**

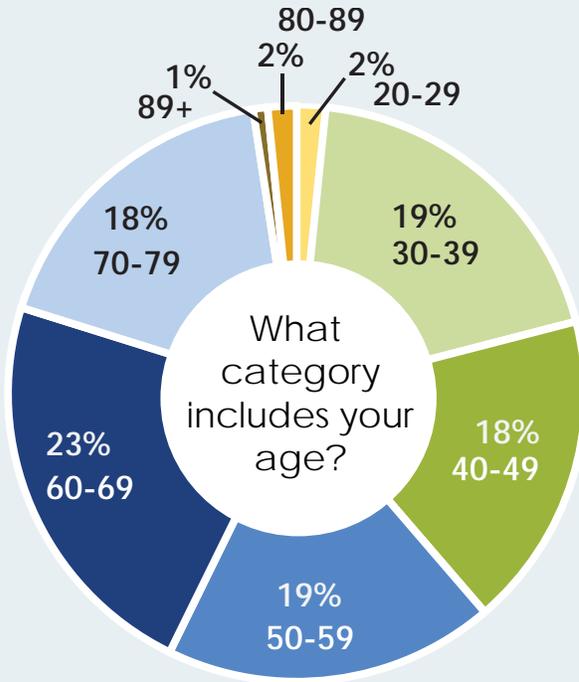


STEP THREE  
**CERTIFICATION**

MICHIGAN ECONOMIC  
DEVELOPMENT CORPORATION

# PREFERRED FUTURE





## COMMUNITY VISIONING AND EXPECTATIONS

### Community Survey

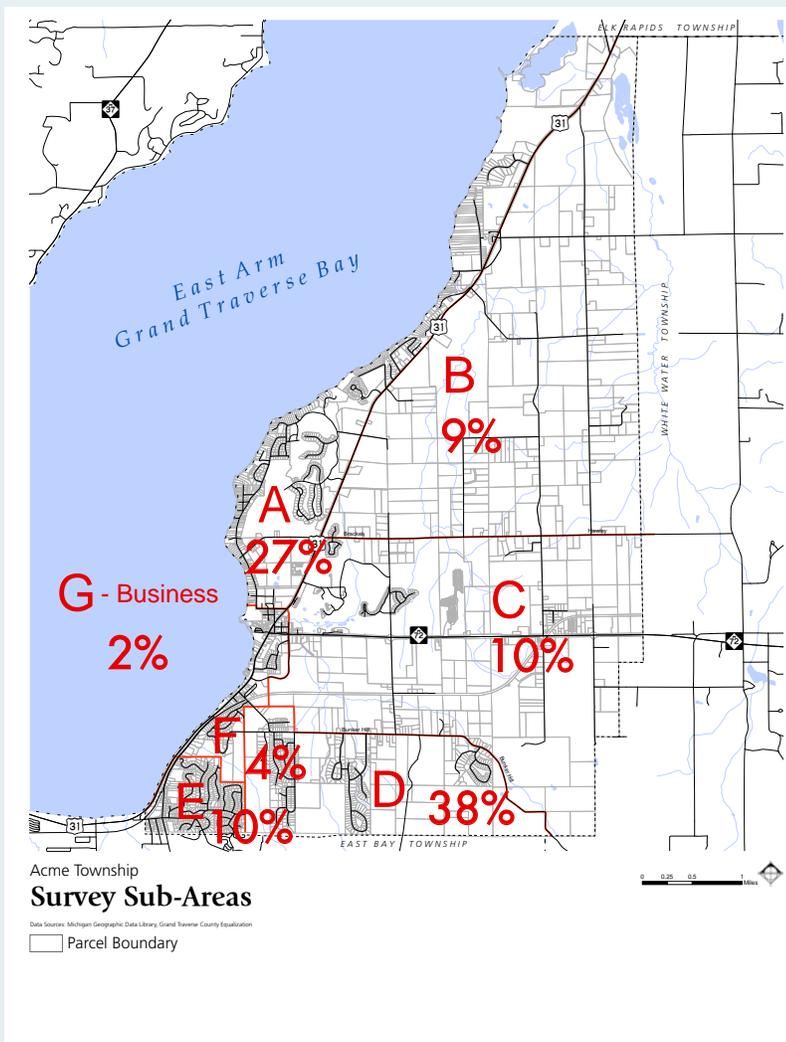
Community engagement is a valuable part of the planning process in soliciting public input. An online survey was made available to the public between September 13 and October 19, 2018. The survey was advertised on the Township’s website and social media outlets. Hard copies of the survey were also made available at the Township offices during business hours. A total of 125 surveys were completed. A similar survey was done for the last Community Master Plan and Parks and Recreation Plan. Online surveys are designed to gather honest feedback from the citizens to help guide the planning process for the future. The results of the survey are summarized below.

### Residence

The majority (33%) of respondents said that they have lived in Acme Township for more than 20 years. 26% of respondents have lived in the Township for 11-20 years. Only 5 people said that they lived in the Township less than 2 years.

### Location

The survey asked the respondents to indicate in which area of the Township they lived according to a map that was enclosed. 38% of the people recorded that they lived in the Cranberry Woods, Springbrook Hills and Wellington



Farms subdivisions (area D on the map). Just over 27% of people live near the shoreline north of M-72 and west of US-31 (area A). The rest of the respondents were evenly dispersed throughout the Township.

### Property Owners

A majority (91%) of people classified themselves as year-round resident homeowners. Just over 7% of respondents are listed as seasonal residents with a primary residence located in another community. Nearly 21% of the survey takers were business owners in Acme Township.

### Occupation

There was a wide range of occupations listed, but the majority of people (24%) are retired. 19% of the people indicated they work in the education, health and social services professions. Another 15% of people recorded that they worked in the scientific and management professions.

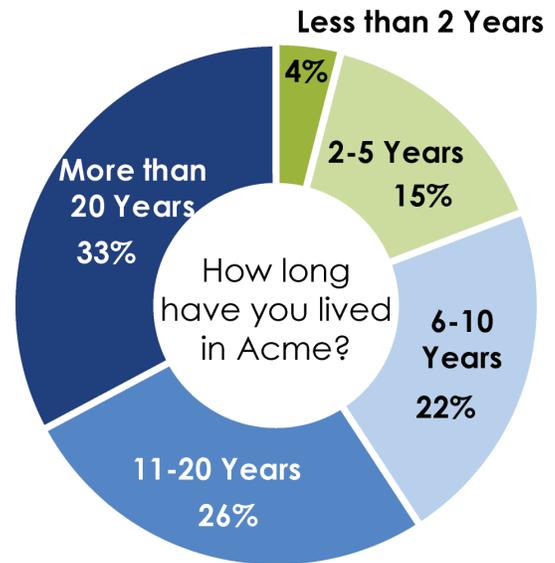
### Age

The age of the survey respondents was distributed relatively even across the board, with people aged 60 to 69 years old representing the highest group of survey respondents.

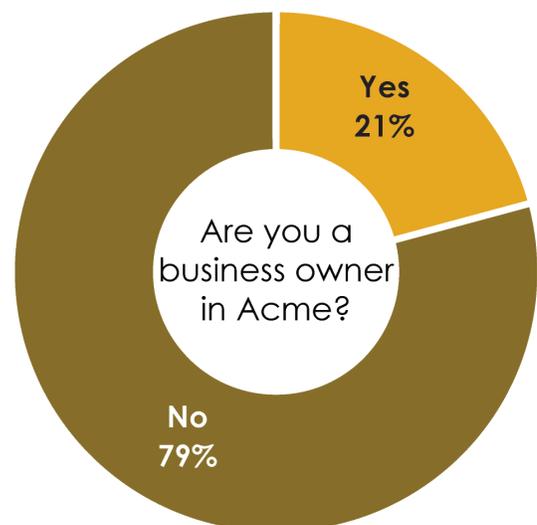
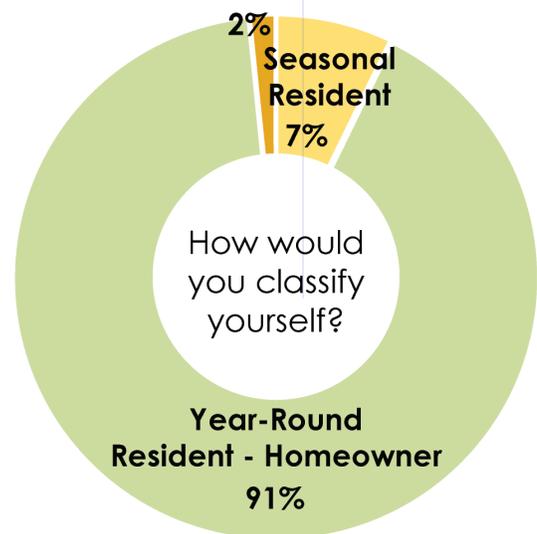
### Long Range Planning

Acme Township will be faced with many issues in the next decade that are critical in the long-range planning. A series of items were listed, and respondents rated them from "Very Important" to "Very Unimportant".

The top five very important items were:

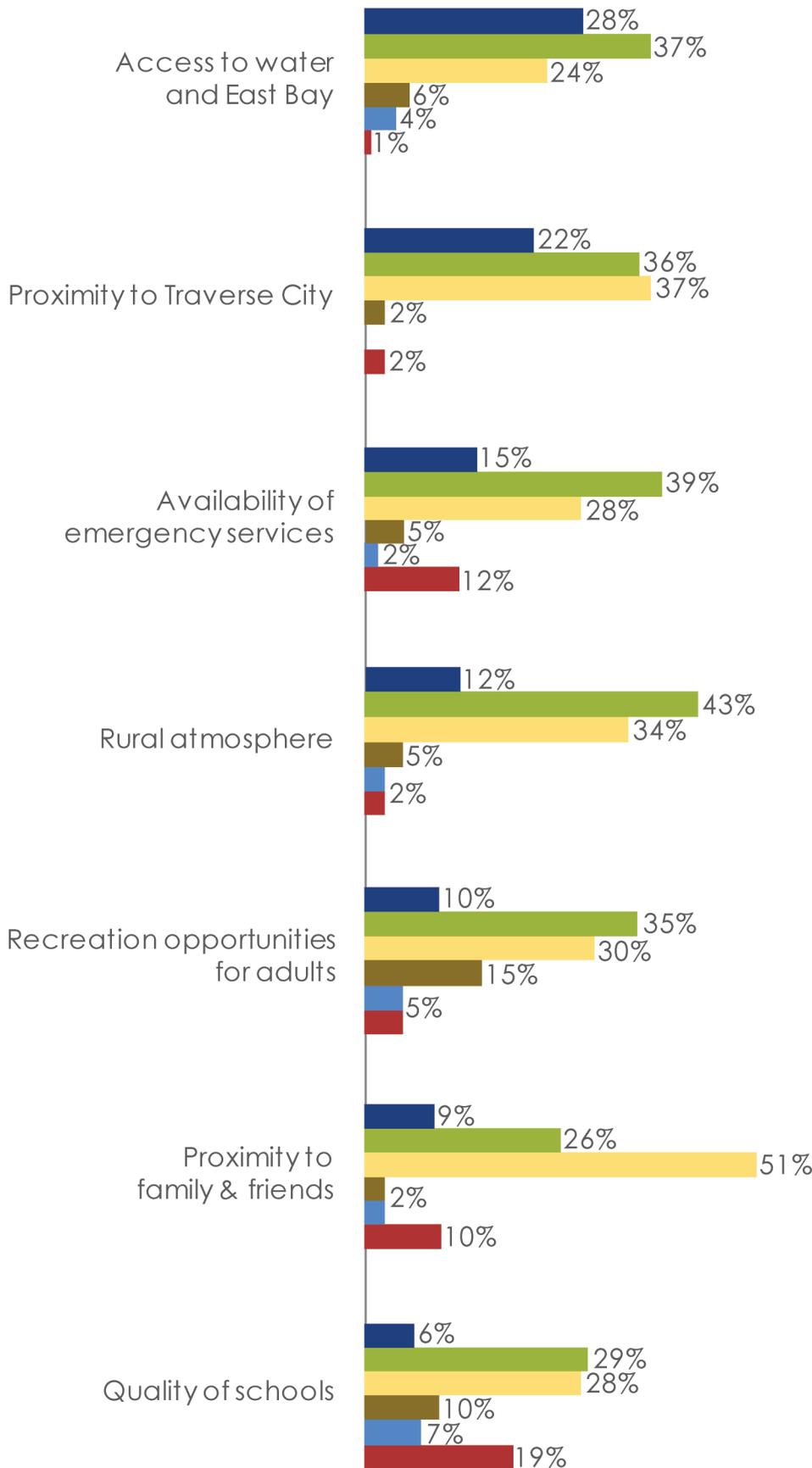


### Year-Round Resident - Renter



### How would you rate Acme Township with regard to this issue?

■ Excellent   
 ■ Above Average   
 ■ Average  
■ Below Average   
 ■ Poor   
 ■ Don't know



1. Responsive government (70%)
2. Availability of emergency services (66.9%)
3. Quality of schools (66.1%)
4. Access to water and East Bay (64.5%)
5. Property tax rate (57.7%)

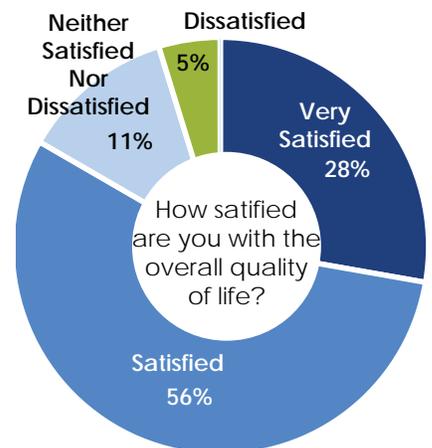
The survey asked participants to rate the Township in a variety of topics. For the most part, the topics were rated at an “average” level by the participants. Over 65% of people rated access to water and East Bay as “excellent” or “above average.” One of the topics that was rated on the lower end was the job opportunities within walking or biking distance of Acme Township. Over 53% of people rated it as “below average” or “poor.”

#### Quality of Life

56% of the people declared that they were “satisfied” and 28% reported that they are “very satisfied” with the overall quality of life in Acme Township.

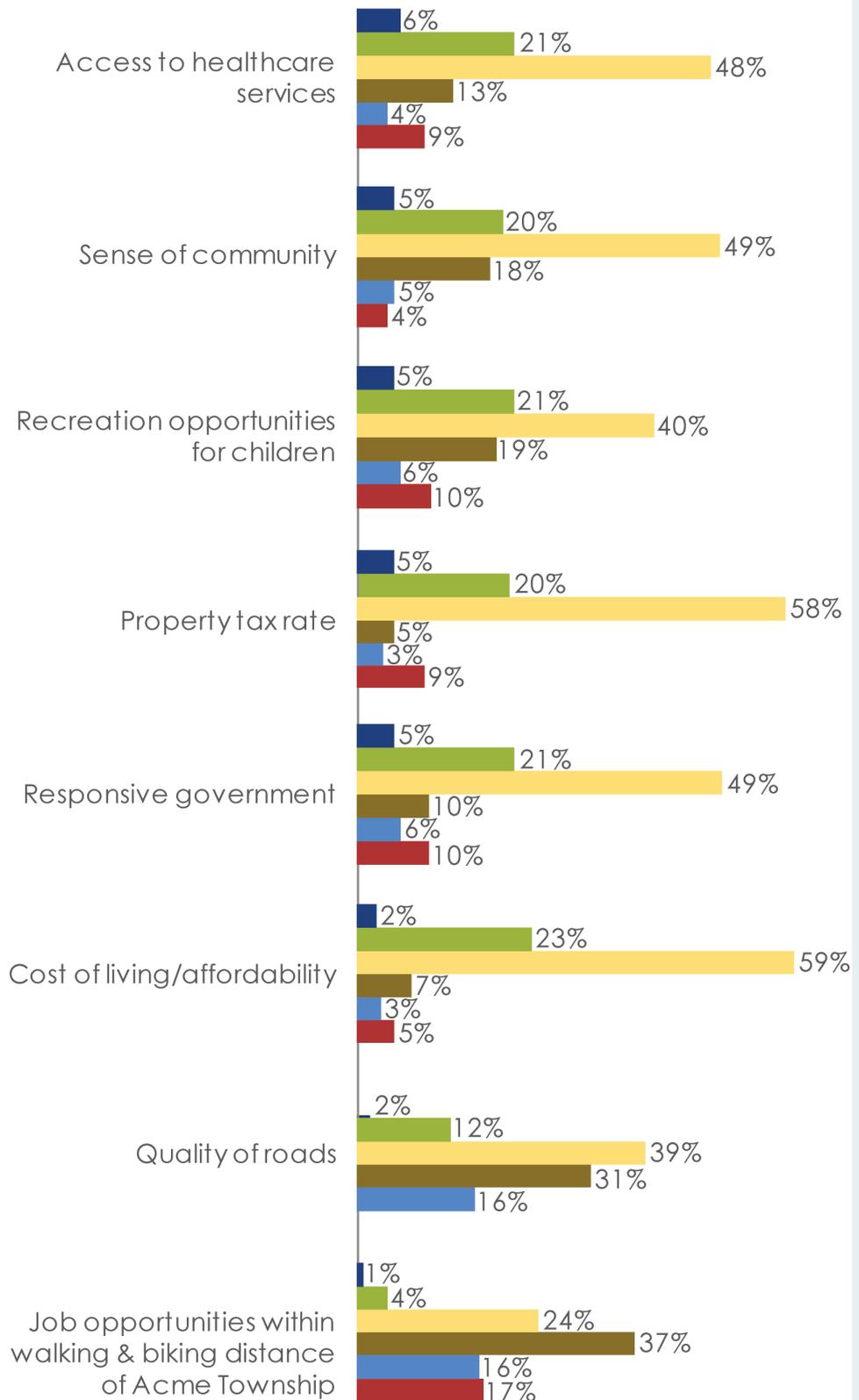
#### Services Provided

The survey asked the participants to rate their satisfaction with a number of services provided



### How would you rate Acme Township with regard to this issue?

■ Excellent   
 ■ Above Average   
 ■ Average   
 ■ Below Average   
 ■ Poor   
 ■ Don't know



within the Township. Most responses indicate a high level of satisfaction, but many were dissatisfied to some level regarding road conditions and maintenance.

### Funding

Survey-takers were asked which funding initiatives the Township should be pursued for future planning. As expected, "road maintenance and reconstruction" received the top vote for

proposed projects. The following initiatives were supported even if it raised taxes.

1. Road maintenance and reconstruction (60%)
2. TART Trail system (54%)
3. Sidewalks along US-31 and shoreline parks (51%)

The following initiatives were supported only if taxes are not raised.

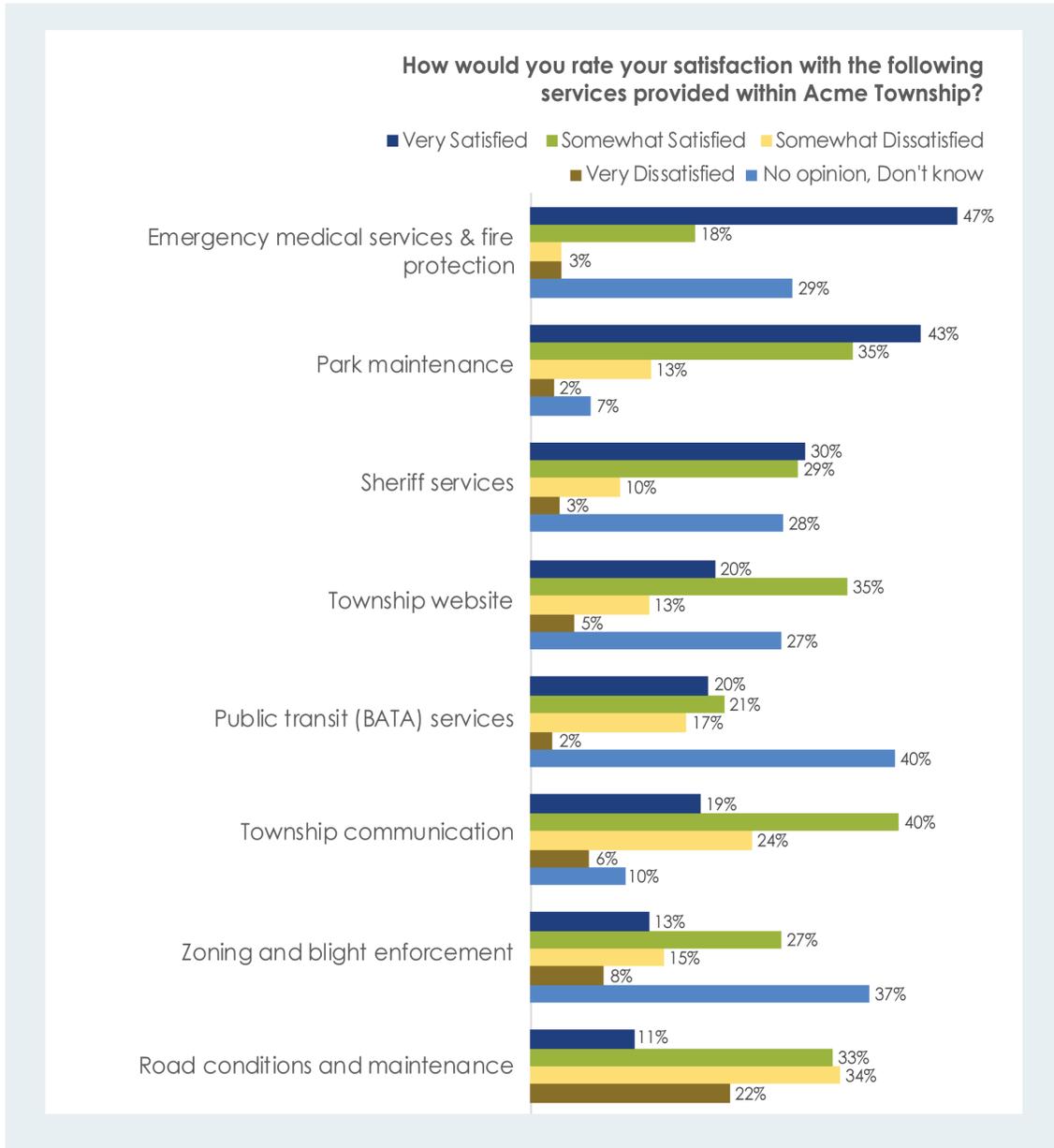
1. Community E-Newsletter (62%)
2. Public Transit (BATA stations) (44%)
3. Recycling services (42%)

The following initiatives were not supported.

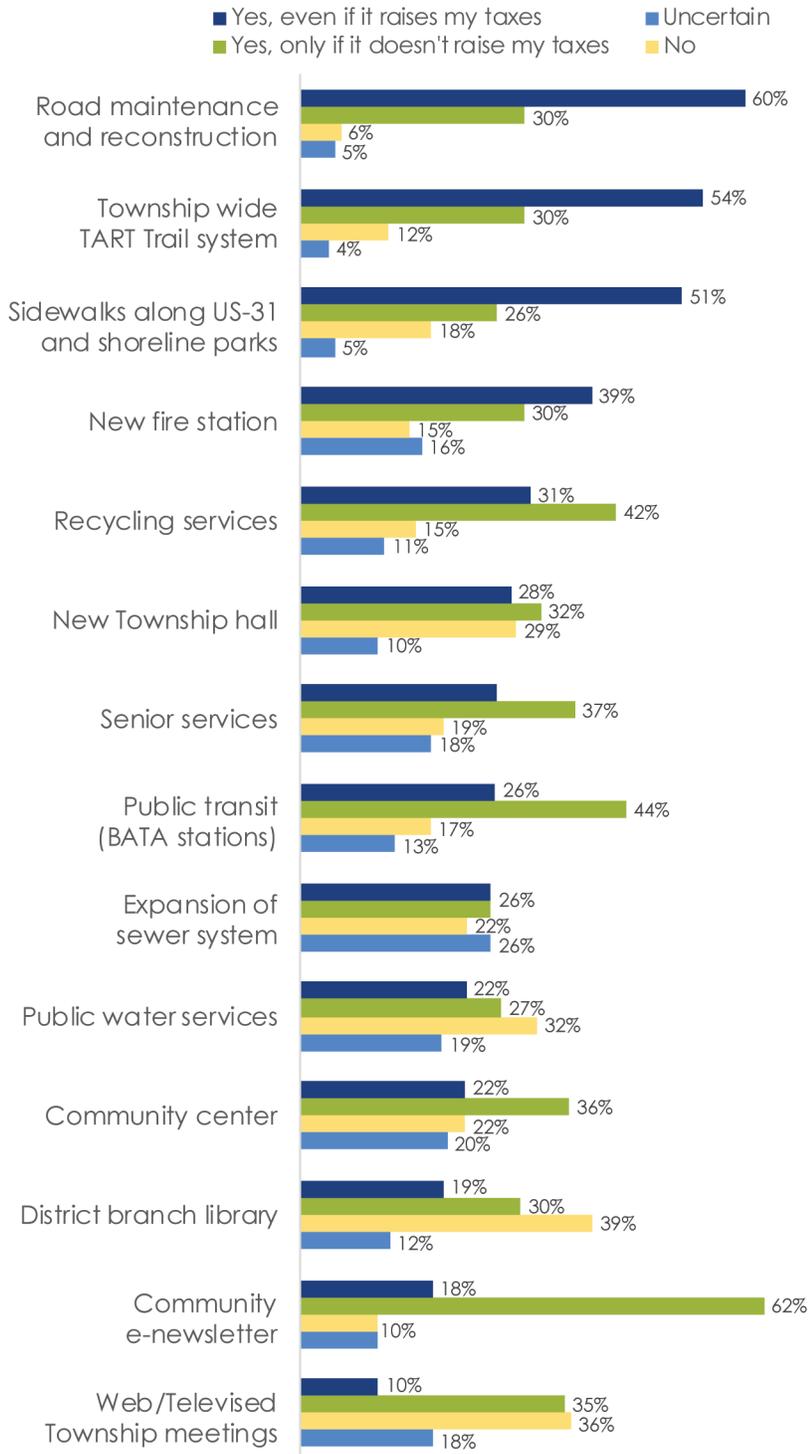
1. District branch library (39%)
2. Web/televised Township meetings (36%)
3. Public water services (32%)

### Headlee Amendment

Due to the Headlee Amendment, the

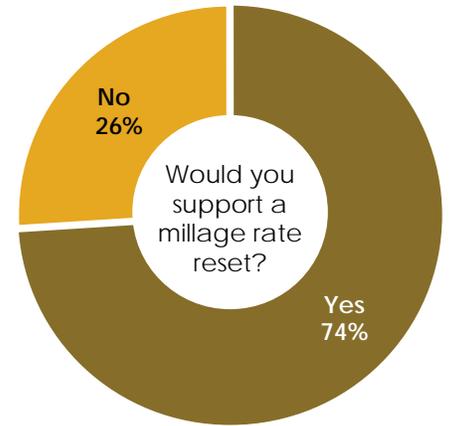


**With regard to funding, do you believe the following initiatives should be pursued over the next 10 years?**



millage rate that Acme Township is allowed to assess has decreased year over year to 0.7307. The survey asked if people would support a reset in the millage rate to 1.00 in order to improve Township services. 74% of the people responded “yes” to the increase.

*Economic Growth Opportunities*

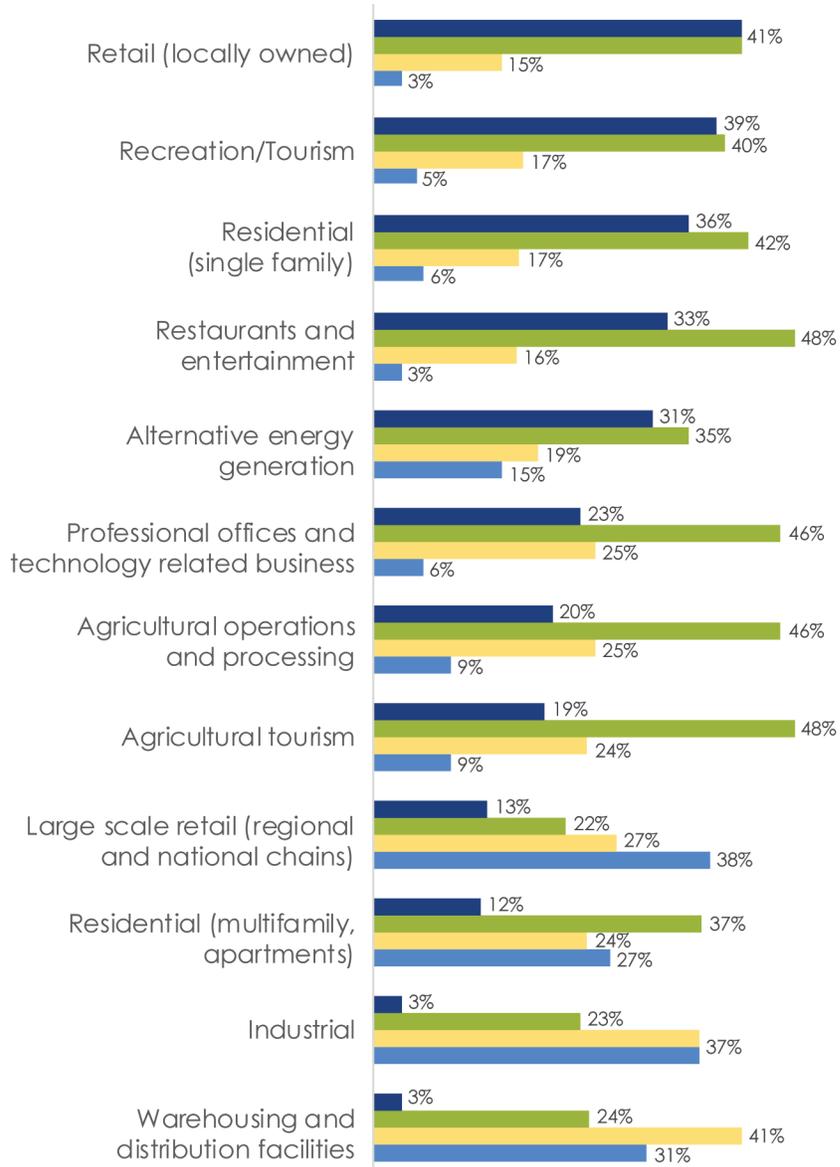


The survey asked participants to rate several economic growth opportunities. They were asked to rate the opportunities from “not a priority” to “high priority.” The top priorities for the respondents was Retail (41%), Recreation/Tourism (39%) and Residential (single family) at 36%. The medium priorities with the highest ratings were Agricultural tourism (48%) and Restaurants and Entertainment (48%). Large scale retail and Industrial were not rated as a priority.

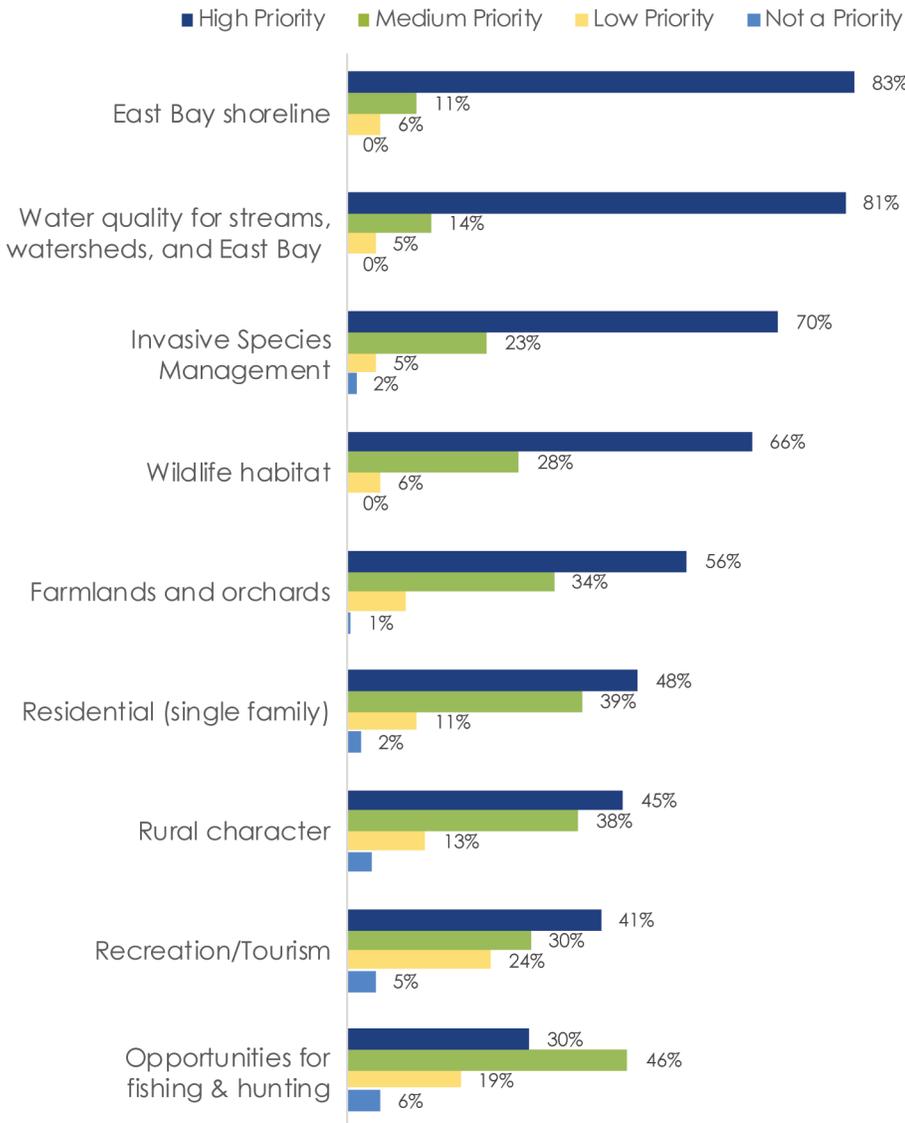
*Priorities for Protection*

**Rate each of the following economic growth opportunities as a priority for development in Acme Township.**

■ high priority ■ medium priority ■ Low priority ■ Not a priority



**Rate each of the following as a priority for protection in Acme Township.**

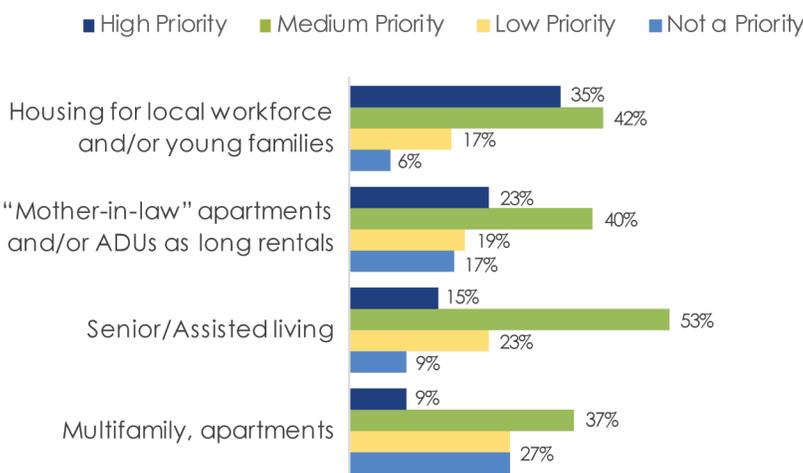


The survey takers rated several items for protection within the Township. Of high priority were the water quality (81%) and the East Bay shoreline (83%), while other related items garnered similar support, including invasive species management (71%), wildlife habitat (64%), and items related to the rural character of the Township (45%).

### Housing

Housing was a key question to ask during the survey, as the housing density and type is of great importance to current and future residents. Many respondents considered housing for the local workforce and/or for young families to be the highest priority (35%), with options for senior/assisted living and “mother-in-law” units as the next priority (23%), which would allow older generations to remain in the community as their housing needs change.

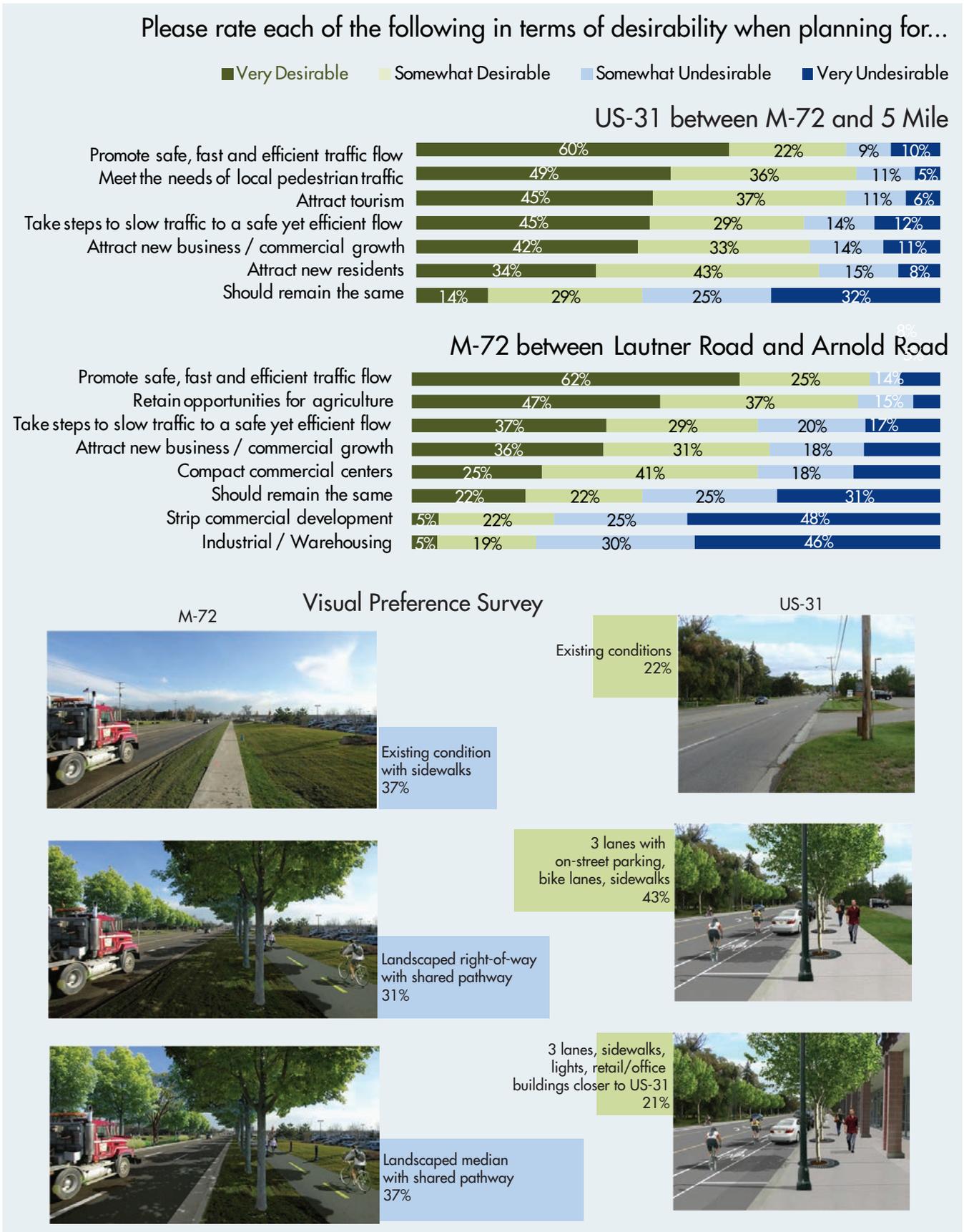
**Rate each of the following housing options as a priority in Acme Township.**



### Park Use

This question listed all the parks and facilities that are in Acme Township and asked survey participants to record, on average, how often they use the facilities. Just over 30% of people that took the survey visit the TART Trail and the VASA Trail at least once a week. People visit Bayside Park (19%) and Sayler Park (14%) several times a month. 13% of the people said they visit Deepwater Point Natural Area at least once a month. Sayler Park is used by 40% of the survey respondents several times a year. 35% people also use Yuba Creek Natural area several times a year.

Figure 16. Findings from the 2013 Visual Preference Survey



### Parks and Recreation Services

The survey asked participants to rate their level of agreement with the following statements. 71% of residents strongly agreed that parks and recreation facilities are important to the community and worthy of taxpayer support, and another 67% strongly agreed that the Township should support the development of trails that connect with adjacent park facilities and the

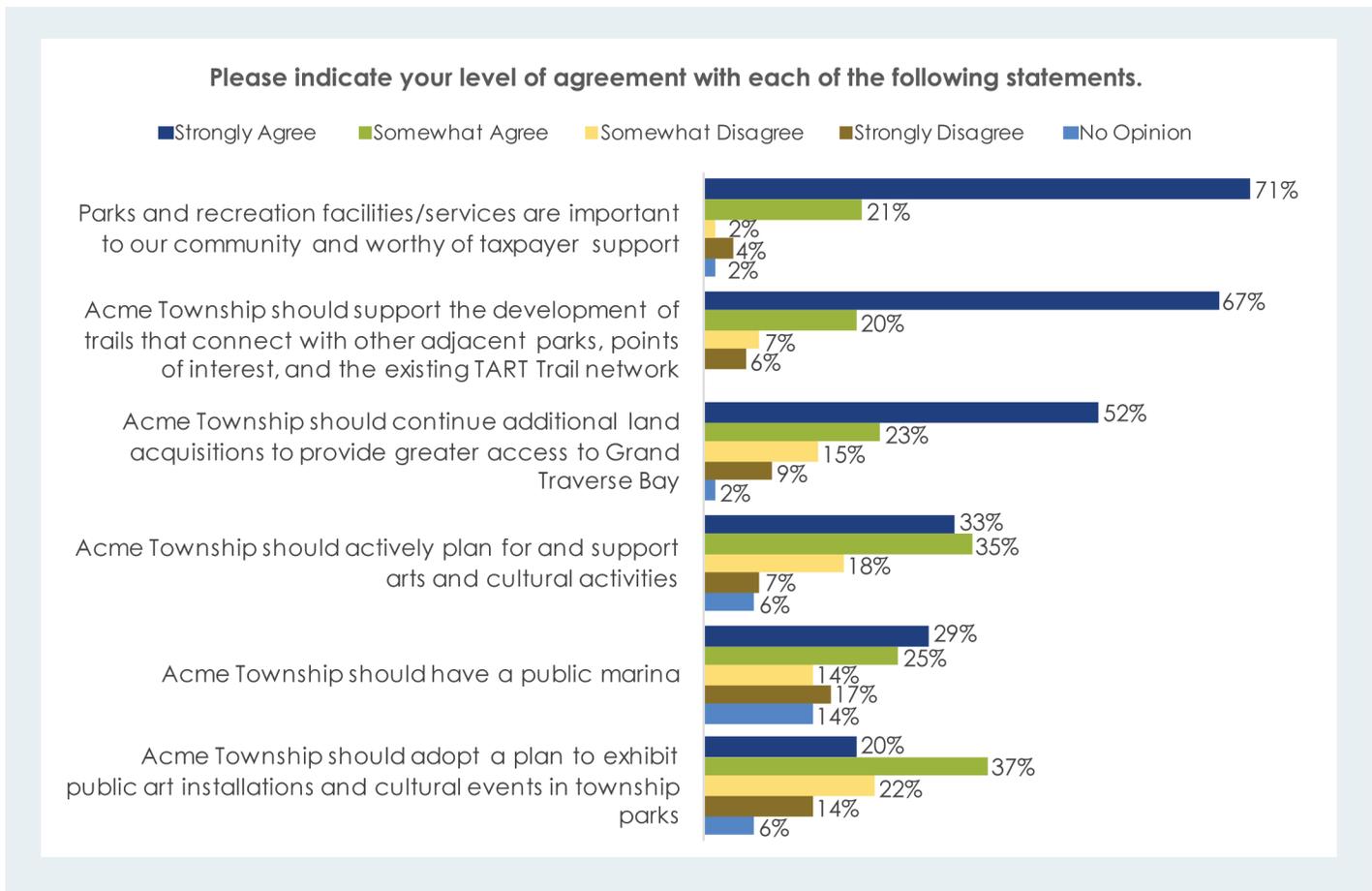
existing TART network. The majority of survey respondents agree to some extent that continuing to acquire land along Grand Traverse Bay for the purpose of waterfront access is important as well.

### Parks and Recreation Facilities

The survey asked the participants to rate the top five Park and Recreation Facilities they feel Acme Township should plan for and develop. The

scores were analyzed and then weighted based on the responses. Below is a list of the top five answers.

1. Nonmotorized trails (i.e. TART Trails)
2. Indoor athletic facilities
3. Community gardens/plots
4. Walking/nature trails
5. Swimming beach

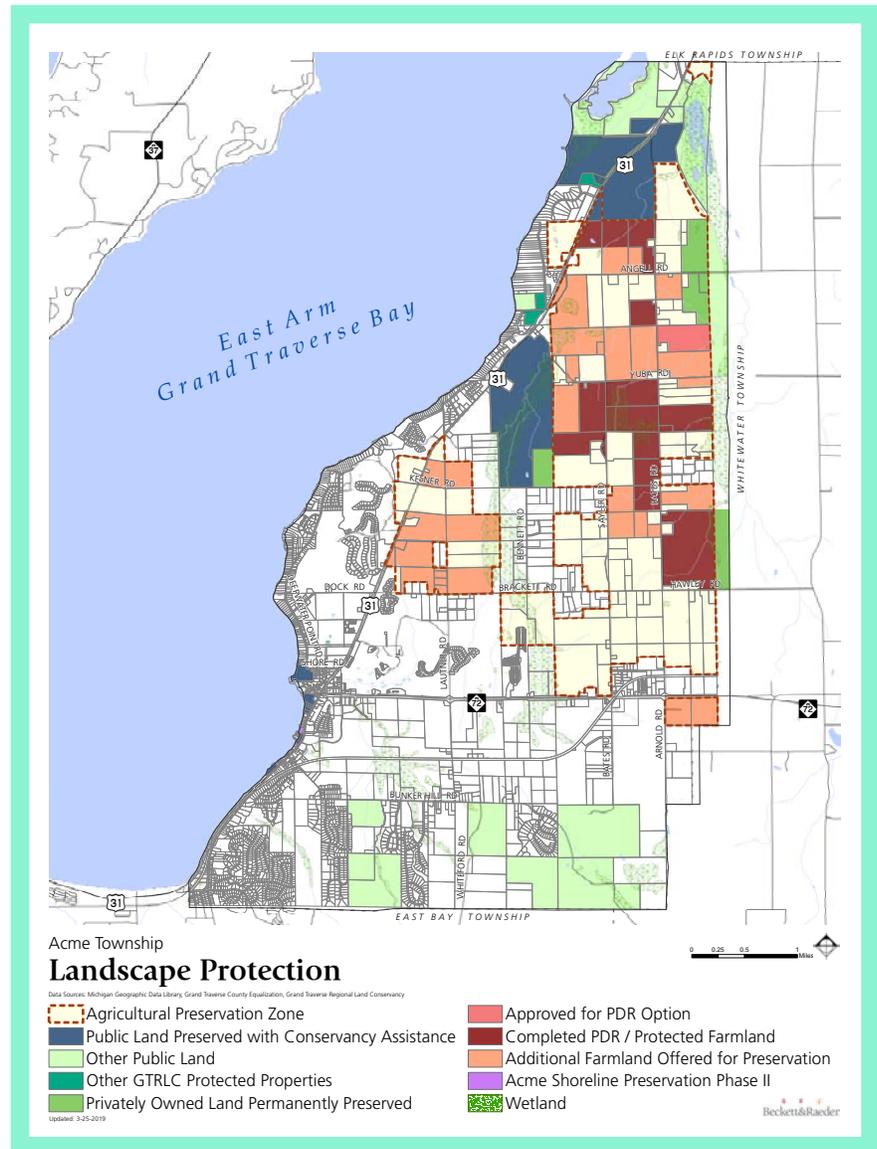


### Regional Agency Meeting

In the interest of collaboration, shared resources, and good communication, 39 representatives from adjacent and inclusive jurisdictions and area agencies were asked to join Acme Township representatives for a discussion of mutual goals and concerns back in 2013. A short survey was distributed along with the invitation. The work session, held on February 5, 2013 at the Bayview Inn Bar and Grill, was attended by 17 of the invitees.

A large portion of the conversation focused on motorized and nonmotorized transportation. The Michigan Department of Transportation provided an update on planned projects, including construction along US-31 between Three Mile and Holiday Roads and potential pedestrian improvements at two locations. East Bay Township and the Grand Traverse Band of Ottawa and Chippewa Indians (GTBO&C) both mentioned an interest in pedestrian safety and access management along US-31. Whitewater Township joined as the discussion turned to M-72; a signal or roundabout at the entrance to the Turtle Creek casino was suggested twice. The Traverse City Area Transportation and Land Use Study, working on a long-range transportation plan (2015), offered to review the future land use plan and make any needed changes to the regional traffic demand model.

Figure 17: Landscape protection map



***“Acme Township’s agricultural lands are an economically important resource. These lands support a locally important and globally unique agricultural industry, which includes excellent fruit production and processing, dairy, livestock, food from grains, and vegetables, as well as nursery and greenhouse crops. The climate, micro-climate, topography, and accessibility of the area make Acme Township uniquely suited for the production, processing, and distribution of agricultural products on a regional, national, and international level.”***

— Acme Township Protection of Development Rights Ordinance <sup>21</sup>

Traverse Area Recreation and Transportation Trails encouraged the use of Complete Streets as a strategy for expanding road access to a broader range of users. The agency's stated priority was completion of the linkage between Bunker Hill and Lautner Roads, and working with the Grand Traverse Regional Land Conservancy to use existing County roads to connect Acme Township with Elk Rapids. The Bay Area Transportation Authority expressed a desire to collaborate on bus and transit stops, suggesting a regional wayfinding system including Acme, East Bay, and Elmwood Townships as well as Traverse City. It also noted the potential for an Acme Township transfer station. The Disability Network advocated projects that are walkable, bikeable, and/or connected to public transit, and offered to review the master plan and site plan for issues related to accessibility.

The identification of Acme Township, specifically at the US-31 and M-72 interchange, as a Growth and Investment Area, is a priority area for implementation of [the Grand Vision's] land use, economic development, and housing programs and the Township is also interested in the expansion and development of the Grand Traverse Band of Ottawa and Chippewa Counties trust lands and the impact on tax revenues." However, the Grand Traverse Metro Fire Department cited the availability of public water as a priority for new development, and the GTBO&C mentioned water as a "critical element" in the development of the

Grand Traverse Town Center. The GTBO&C partnered with the GTTC for water services, and stated that while it has no immediate plans for its 168 acres, it is in master planning discussions and intends to provide its own infrastructure.

Other issues included water quality, which was a primary concern of both The Watershed Center and the Grand Traverse County Health Department. Low impact development stormwater practices, e-coli monitoring in the East Bay, and particular attention to septic systems in residential development were recommended. The Northwest Michigan Council of Governments reported that it is working on a regional energy policy that will include the Township, and the Grand Traverse Metro Fire Department said it was looking for a new fire station building.

### *Business Owner Meeting*

All members of the Acme Township business community were invited by mail to an input meeting on February 6, 2013; a small questionnaire and relevant sections of the previous master plan accompanied the invitations. Approximately 40 business owners attended the meeting, which was held in the conference room at Hope Village.

When asked what services they required from the Township, the business owners cited water, sewer, underground utilities along the shoreline parks, road improvements, traffic control such as a left-turn arrow from US-31 onto M-72

and a signal light at the Grand Traverse Resort, signage, expanded or improved recreation facilities (specifically, a new soccer field and repaired volleyball court), and a more professional Township website to attract new business. Planning and zoning recommendations included reduced building setbacks along US-31 and M-72, expanded uses in the industrial district, use of incentives to attract business, and an expedited permitting process. Participants repeatedly emphasized cooperation between government and the business community, as exemplified by the statement that "government and businesses need to work together to create an atmosphere where commerce drives capital, creates jobs, spurs growth in housing sales, preserves land, etc." Finally, attendees expressed a "need to attract Millennials [people born between 1980 and 2000] and younger families" who could become business owners themselves and thus increase economic activity. They recommended an active social media presence and a peer-conducted marketing campaign.

### *Agriculture Community Meeting*

Several members of Acme Township's farming community gathered at Acme Township Hall on January 30, 2013 to discuss master planning issues relevant to agriculture. A primary concern was the desire for more flexibility with regard to the use of property. Participants recommended zoning changes which would encourage related uses within an existing

agricultural operation, such as a farm market, wine tasting room, restaurant serving locally produced fare, and other agricultural tourism uses. They also wished to expand that flexibility to include other commercial uses, such as the ability to lease out available accessory buildings regardless of whether the incoming tenant intended to conduct farming activities in them. Permitting the construction of additional family homesteads on the property without subdividing the parcel was another suggestion.

With regard to residential development in general, participants overall favored a clear delineation between agricultural and residential uses. Concerns about encroachment of residential development into active agricultural areas included issues related to spraying, equipment use, noise, and hours of operation. They recommended maintaining a 1 unit per 5 acre density for rural development, with the possibility of reviewing clustered development at 1 unit per 2.5 or 2 acres. Defined development, as in a hamlet or small settlement, was preferred. Other issues cited were management of deer and other invasive species and traffic speeds on US-31, particularly north of M-72, which present a safety issue when moving machinery across the road or traversing the highway between parcels.

Farmers in attendance viewed Acme Township's purchase of development right (PDR) program as the single most useful resource available

to protect existing farms from future encroachment, though they expressed a preference for a less restrictive program. In 2004, Acme Township became one of only two communities to pass an ordinance participating in the Grand Traverse County Farmland and Open Space Preservation Program (Figure 17). Under the agreement, the County establishes criteria for eligible lands, determines whether PDR applications should be accepted, approves the restrictions on the subsequent easement, establishes the prices, and oversees compliance monitoring. For its part, the Township establishes the amount of matching funds to be available on an annual basis (voters approved a 10-year, 1-mill levy that is expected to raise \$3.1 million through 2014), decides the allocation to be awarded to each application, and coordinates its efforts with the County.

### *Acme Shores (Placemaking) Visioning*

In keeping with the concept of "placemaking" as a way to form lasting connections between people and spaces, the Acme Shores Coastal Redevelopment Project relied heavily on community engagement. A website was launched at [www.acmeshores.org](http://www.acmeshores.org) to host general information, a calendar of events, a photo gallery, project documents, and a communication link between the public and the Leadership Team members. To gather input about the priorities of the redeveloped shoreline's potential users, a meeting was

held with noncommercial property owners along US-31 in addition to a community-wide public meeting. Leadership Team members also hosted a public "Meet Your Beach" day on the redevelopment site, at which they spoke one-on-one with attendees and collected comment cards. About 72 citizens came to the public meeting, and about 80 shared their opinions at the beach.

After the plans and drawings for a revitalized Acme Township were completed, the public was again invited via postcard to a community meeting and offered the opportunity to provide feedback. This time, over 100 citizens came to view the drawings in person, and 223 unique visits were made to webpage hosting digital versions. Comment cards were distributed which gave an overview of the project, listed the public priorities incorporated in the plan, and presented small versions of the overall and park plan drawings.

***The cornerstone...is derived from the first stone set in the construction of a masonry foundation, important since all other stones will be set in reference to this stone, thus determining the position of the entire structure.***

- Wikipedia

## COMMUNITY CORNERSTONES

The Acme Township “cornerstones are” the key components of the community building process. When the foundation, cornerstones, and building blocks lock together, they construct a well-defined community which is supported by county and regional initiatives.

The cornerstones presented on the following pages are derived from the community input process and shaped by Acme Township’s planning commission and elected officials. They represent the overarching goals of the community and are supported by specific objectives and strategies, here called “building blocks,” that the community will take to achieve its goals.

## CORNERSTONE: FOCUS ON PUBLIC INFRASTRUCTURE IMPROVEMENT

There is a growing need for public water to serve the business district. Discussions regarding the need for a public water system reference back to the Acme Township Infrastructure Citizens Advisory Committee Township/Tribal Bulk Water Agreement Task Force in 2005. The lack of public water and the inability to meet building and fire codes is a particularly pressing issue for the redevelopment of the US-31 and M-72 corridors. The Grand Traverse Band of Ottawa and Chippewa Indians has partnered with the Grand Traverse Town Center for water, a critical element of development for that property, and a potential partnership with the Township may be a reasonable and cost effective solution. Similarly, Dan Kelly's planned resort condominium single-unit "microflats" on nearly 20 acres with 156 housing units off M-72 would benefit from public water, and the developer plans to coordinate with nearby infrastructure and explore a collaborative agreement for service provision.

In addition to water, there is also a need to expand the number of homes and businesses connected to sanitary sewer services within the sanitary district. The sanitary district is the preferred area where with Township plans to concentrate future growth and investment, including public water and new commercial and residential development.

About 90 miles of road run through Acme Township. While road maintenance will always be a high priority, over the past five years, the Township has made considerable progress in upgrading and improving roads in need of repair. These improvements are evident in the survey responses regarding the quality of roads in the Township. Fifty-three percent (53%) of survey respondents rated the roads as either average or above average. Additionally, 60% of respondents said they would be willing to pay for continued regular road maintenance, even if it resulted in higher taxes.

### Building Blocks

1. Continue collaboration with the Grand Traverse Band of Ottawa and Chippewa Indians on infrastructure projects, especially public water.
2. Incorporate into Township projects, properties, and Ordinances specific practices and provisions to improve the quantity and quality of stormwater treatment and handling, especially low event storm flows.
3. Update the capital improvements program for the Township to include detailed cost estimates and time-frames for water, sanitary sewer, stormwater, and road improvements.
4. Concentrate future sanitary sewer and water expansion in the sanitary district.
5. Collaborate with Metro Fire and other on the location of new Fire / EMS station and Township Hall.
6. Work with MDOT when road improvements are made on US-31 to implement the recommendations in the Acme Township Placemaking Plan.

## CORNERSTONE: DEVELOP WALKING AND BIKING FACILITIES THAT CONNECT NEIGHBORHOODS, COMMERCIAL DISTRICTS, AND RECREATIONAL AMENITIES.

The Traverse Area Recreation and Transportation (TART) trail begins its journey toward Traverse City from the intersection of M-72 and Bates Road in Acme Township. From there, a bike route provides a connection to the VASA pathway into the Pere Marquette State Forest. The planned Traverse City to Charlevoix Trail and the Acme Connector Trail (ACT) will further connections within the Township. Acme Township residents would like to see these non-motorized options extended through more of their community. In addition to trails, the Township in partnership with businesses and property owners plans to expand its sidewalk network to make walking and biking a more viable transportation option for residents, employees, and visitors. To the greatest extent possible, the Township promotes the use of Michigan’s Complete Streets legislation as a strategy for expanding access to the street network for all users.

Survey results indicate an acknowledgment of need as well as support for improved facilities. Only 5% of survey respondents rated biking and walking opportunities as excellent or above average. The remaining 95% did not view biking and walking as a viable option for accessing job opportunities. Over half of respondents (54%) were supportive of a Township-wide TART Trail system even if it raises taxes.

### Building Blocks

1. Establish a formal agreement with the Grand Traverse County Road Commission regarding Complete Street standards in the Township. Priority should be placed on areas within the Growth & Investment district of the Township.
2. Collaborate with MDOT, TART, land owners, and other local governments on implementation of the Traverse City to Charlevoix Trail.
3. Establish public and private road standards for community streets in residential neighborhoods with densities exceeding 3.5 dwelling units per acre, coordinating with Metro Fire Department on appropriate standards.
4. Develop a comprehensive non-motorized plan that can inform implementation of new development projects.
5. Evaluate the creation of a direct connection between the TART Trail and the VASA Trailhead.
6. Develop standards in the zoning ordinance to require sidewalks with new development in commercial areas.
7. Collaborate with the business community to install an 8-foot sidewalk on the east side of US-31 to improve access to those businesses.
8. Implement the Action Plan in the Acme Township 5-Year Parks and Recreation Master Plan.
9. Work with other agencies to establish a water trail along East Bay for canoing and kayaking with appropriate facilities and wayfinding.





## CORNERSTONE: CREATE A VIBRANT, HIGH-QUALITY COMMERCIAL AND MIXED USE DISTRICT.

The Acme Township Placemaking study consolidates and connects the US-31 corridor between M-72 and 5 Mile Road with Acme Village and the Grand Traverse Town Center. The vision for this area is to establish a planned mixed use district which extends from Bayside Park along the East Bay shoreline to Lautner Road. This area is planned to include more dense and compact residential and commercial development achieved through vertical mixed uses and the integration of amenities for walking and bicycling. Building on the Placemaking plan, the Township hopes to concentrate traditional mixed-use neighborhood development in the area of the Township that was once the historic Acme Village.

Residents felt it was a “medium” or “high” priority to attract new restaurants and entertainment businesses (81%), and they also had definite preferences related to its form: 73% of residents found strip commercial development either “somewhat” or “very undesirable,” while 66% found compact commercial development either “somewhat” or “very desirable.” Public entities can set the stage for desirable development by investing in public infrastructure that is supportive of compact, walkable commercial design.

### Building Blocks

1. Collaborate with other US-31 communities to reduce the speed to 35 mph along certain portions of US-31 especially where pedestrian crossings would be appropriate.
2. Work with MDOT when road improvements are made on US-31 to implement the recommendations in the Acme Township Placemaking Plan. The recommendations include raised intersections at US-31 and M-72, US-31 and Mount Hope Road, and US-31 and Bunker Hill Road, a traffic signal at the Mount Hope Road intersection, sidewalks, and other pedestrian improvements.
3. Collaborate with BATA and the business community to install transit stops along US-31 and M-72. Work with MDOT to secure a signalized intersection at US-31 and Mount Hope Road to meet the needs of local pedestrian traffic and provide a safe crossing to Bayside Park
4. Ensure that off-street parking lots are inter-connected and properties have sidewalks wide enough to encourage outdoor dining, displays, and pedestrian activity.



## **CORNERSTONE:** MAINTAIN AND IMPROVE THE QUALITY OF SURFACE AND GROUNDWATER THROUGHOUT THE TOWNSHIP, THE REGION, AND THE GRAND TRAVERSE BAY WATERSHED.

Much of the success and desirability of Acme Township can be attributed to its freshwater resources. Eighty-one percent (81%) of survey respondents say protection of water quality for streams, watersheds, and East Bay is a high priority. Protection of the East Bay shoreline is a high priority for 83% of survey respondents. The Watershed Center monitors the quality of the water in East Bay; the Watershed Center also encourages the use of low impact development stormwater practices in Acme Township.

### **Building Blocks**

1. Adopt a new stormwater ordinance which includes an emphasis on low impact development and other techniques to manage the quantity and quality of storm water in new and redevelopment projects.
2. Continue to collaborate with the Watershed Center and the Grand Traverse Band of Ottawa and Chippewa Indians on E. coli and other water quality monitoring in East Bay and the Acme and Yuba Creek tributaries, and at nearby stormwater outflows.
3. Reinforce in the zoning and stormwater ordinances the use of riparian buffers adjacent to tributaries, shorelines, and wetlands and provisions to protect environmentally sensitive areas.
4. Consult with the Grand Traverse Bay Watershed Protection Plan as it relates to Acme Township and those strategies focused on East Bay.



*Photo, bottom: Karly Wentzloff*



## CORNERSTONE: SUPPORT THE CONTINUATION OF AGRICULTURAL OPERATIONS AND PRESERVATION OF FARMLAND.

The community recognizes the value of farmland as an economic component of the local economy and also its intrinsic value as a rural landscape. Through the purchase of development rights (PDR) program supported by a dedicated Acme Township millage, 220 acres of land is permanently protected. Furthermore, the Township adopted provisions for Transfer of Development Rights (TDR) in 2016. Successful implementation of the TDR program as a farmland preservation tool is directly dependent on a municipal water source.

Approximately 66% of survey respondents rated agricultural operations and processing as either a “high” or “medium” priority. Likewise, 67% rated agricultural tourism as a “high” or “medium” priority. Agricultural community members expressed a desire for zoning that allows them maximum flexibility in the use of their land for economic viability. Examples included zoning for related uses within an agricultural operation (e.g., farm markets, wine tastings, food service, agriculture-based tourism), allowing an “enterprise within an enterprise” such as leasing accessory buildings for non-farm operations, and building an additional family homestead on a property without subdividing a separate parcel. They were concerned about their relations with the inhabitants of residential development, noting that encroachment into active farmland raises issues related to spraying, equipment use, noise, and hours of operation.

### Building Blocks

1. Continue the Purchase of Development Rights (PDR) and Transfer of Development Rights (TDR) programs.
2. In concert with the agricultural community, determine and map the location of airsheds within the Township. Further, incorporate provisions in the zoning ordinance to minimize their disturbance in areas zoned for agriculture.
3. Work with other Grand Traverse communities to promote and encourage other agricultural opportunities that are based on local food and fruit production.
4. Support regional food processing, production, and distribution initiatives that provide added job growth and economic development for the Township and region.



Middle left and bottom photos: Karly Wentzloff



## CORNERSTONE: CREATE A COMMUNITY WITH HOUSING OPTIONS ATTRACTIVE TO ALL.

Housing options are increasingly at the forefront of community conversations about issues ranging from social equity to economic development, employee retention, and school enrollment. Like many suburban townships, Acme has developed with a large inventory of low-density single-family homes. Increasingly, young professionals, empty nesters, and others are looking for smaller housing formats in a more walkable, connected setting. The goal of the Mixed Use Village in Acme is to facilitate housing options that meet the needs of these changing desires and shifting demographics. By promoting traditional neighborhood development patterns, Acme Township can facilitate better variety in housing sizes and limited commercial services within the neighborhood to allow for a more walkable community.

The need for a diverse mix of rental and ownership housing options for residents in Acme Township was evident in the survey responses. Approximately 78% of respondents identified housing for local workforce and/or young families as a “high” or “medium” priority. Additionally, 63% rated ADUs, or mother-in-law flats, with long-term rental agreements as a “high” or “medium” priority. Moreover, 68% of respondents rated housing for seniors as a “high” or “medium” priority.

### Building Blocks

1. Developing zoning provisions for higher density mixed use development that attracts younger professionals and families and older “empty-nester” households.
2. Ensuring affordable, accessible housing in the Township through partnerships with Homestretch, the newly formed Housing North non-profit, the Tribe, and others.
3. Creating opportunities for intergenerational interaction through neighborhood gathering spaces, cultural events and activities.
4. Explore the adoption of a PILOT (payment in lieu of taxes) ordinance to facilitate the development of workforce housing.

## TOWNSHIP PRIORITIES

### *Park System Along US-31*

Acme Township, in partnership with the Grand Traverse Regional Land Conservancy and the Michigan Department of Natural Resources, has expended \$3.5 million dollars and hundreds of hours of personnel and volunteer effort to acquire obsolete commercial properties along East Bay for waterfront parks. Once the demolition of these buildings was completed in the summer of 2013, the waterfront along East Bay, long inaccessible to the community, was open. Plans are underway by the Parks and Trails Committee to develop a system of connected parks which extend along US-31 from M-72 to Bunker Hill Road.<sup>23</sup> Once completed, this waterfront park system will provide a variety of outdoor recreation facilities for the community and serve as a destination of regional residents and tourists. This new “place” will also create opportunities for adjacent businesses and provide a platform for other mixed uses seeking to locate on an active urban waterfront.

### *Public Water for Growth*

Without a reliable source of potable water, growth will not occur as planned. For an area to develop as a compact, mixed use district, it needs a sufficient source of public water to satisfy the needs

of consumers and residents, and to meet the requirements and standards of fire safety codes. The US-31 and M-72 corridors and the planned Mixed Use Village district require public water. The Grand Traverse Town Center has an agreement with GTBO&C to provide water to the 165 acre mixed-use development. Similarly, Dan Kelly’s planned resort condominium with 156 housing units will explore a collaborative agreement for service provision.

The Township will need to leverage this investment with a connection to a larger water network. Regardless of ownership or management, public water is a necessity to appropriately plan for and leverage development in this growth and investment corridor.

### *Public Facilities*

Both the Fire Department and Township Hall are in need of replacement. The current Township Hall facility is functionally obsolete for both operations and is not an efficient or private workspace for Township administration. One potential area is the undeveloped portion of the Mixed-Use Village district on the Future Land Use Map. The township hall should provide modern, technologically outfitted office space with defined

offices, conference rooms, and a large assembly room for Board and Committee meetings. The Township Hall serves as a gathering space for more than just government operations—it also serves as a community center for social and civic-oriented organizations. If practical, a district library branch would be appropriate to serve all age groups residing within the Township.

### *Agricultural Preservation and Expansion*

As discussed previously, the Township has Purchase of Development Rights (PDR) and Transfer of Development Rights (TDR) programs that are being used by some agricultural property owners. During the meeting with the agricultural community, it was noted that the interest in the PDR program exceeds the funding for it. In addition to the PDR and TDR, the Township has adopted an Agricultural Tourism ordinance to provide property owners with other revenue opportunities. Another outcome of the meeting advanced the point that agriculture today is different than ten years ago and the need to review Township ordinances to lower the barriers which prevent ag-related activities.

### *Revitalization of the Business District*

Traditional zoning ordinances have done a wonderful job of segregating land uses to an extent where vehicular transportation is the only practical way of getting from point A to point B. Unfortunately, this form of land development has resulted in some stark and extremely pedestrian-unfriendly environments where little activity outside of the car occurs. Subdivisions are developed without sidewalks, commercial buildings are surrounded by asphalt, and there is an absence of connectivity between uses. Another outcome of traditional zoning is that private property bears little relationship to the public space. Coupled together, these factors create wide streets void of pedestrian traffic, set buildings 50 to 100 feet back from the property line, and result in an expanse of asphalt (road and parking lots) sometimes two-thirds the width of a football field. A solution to this condition is planning and regulating the private and public space together, and the most effective tool is a Form Based Code. The results are private development that is conducive to pedestrian activity and mixed uses, and public spaces that are designed for both pedestrians and cars. Future Growth and Investment in Acme Township should

be concentrated in the sewer district, specifically the area designated on the Future Land Use Map as Mixed Use Village.

### *Connectivity*

Nonmotorized infrastructure is a high priority for Acme Township and is gaining considerable momentum. There is a strong desire to complete the sidewalk network to better connect businesses with residential properties, recreational facilities, and nearby commercial areas. A planned provision in the zoning ordinance to require that new developments include sidewalks will go a long way in making this a reality. The soon-to-be constructed Acme Connector Trail will serve as an important trail connection for tourists and residents alike. Additionally, the planned Traverse City to Charlevoix Trail will further provide north-south connectivity for cyclists throughout the Township. These added trails will connect communities and provide additional transportation and recreation options.

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# STRATEGIES AND LAND USE



*Photo: Karly Wentzloff*

## COMMUNITY FRAMEWORK

Since the adoption of the previous Acme Township Master Plan in 2014, the Township has done an admirable job of implementing the recommendations that have guided the development of the Township (Figure 18). Specifically, commercial development has been concentrated along the US-31 corridor and within the area designated as the “Town Center,” farmland has been retained, and parkland has been acquired and improved along East Bay.

Agricultural land uses are often considered part of a strategy to retain rural character and open space. However, agricultural land uses in Acme Township are considered a significant part of the local and regional economies.

Residential development, designated south of M-72 and along the west side of the US-31 corridor, faltered between 2007 and 2012, resulting in the Township seeing a minimal amount of housing product added to its inventory. In 2013, housing construction began to increase as available market supply declined.

Although sometimes viewed as an anti-growth strategy, the current development pattern is tremendously advantageous because it has prevented commercial sprawl and fragmented development along the M-72 corridor. In addition,

the agricultural resources of the Township have remained intact, and some of the farms and orchards have opted to participate in the Acme Township PDR (purchase of development rights) program. The combination of concentrating commercial development in districts and nodes and working with the agricultural community to preserve productive farmland has positioned the Township well as a future growth and investment area.

The contextual framework of the Township can be divided into six broad land development patterns: Agricultural & Sensitive Lands, Residential–Shoreline, Residential–Neighborhood, Mixed Use Neighborhood, Resort and Tourism Related, and Trade and Warehouse (Figure 19).

### 1

#### *Agricultural & Sensitive Lands*

Agricultural lands are one of the primary land development patterns in Acme Township. The general geography extends north of Brackett Road and east of US-31 to Whitewater Township. A smaller unit of agricultural land is located south of M-72 bounded by M-72, Crisp Road, Lautner Road and Moore Road. Most of the eligible PDR agricultural properties are located north of M-72.

Also located within this zone are the Yuba Creek Natural Area, Petobego State Game Area, Maple Bay

County Park, and properties owned by the State of Michigan in the southeast corner of the Township.

### 2

#### *Residential - Shoreline*

This zone occurs west of US-31 and north of M-72. Within this zone are different patterns of residential land development, including individual properties, condominiums, and planned subdivisions. For example, properties along Deepwater Point Road consist primarily of individual parcels with waterfront access to East Bay. As Deepwater Point Road converges into Peaceful Valley Road, there are several small developments grouped around Clearwater, Windale, and Haven Hill Lane. Lastly, there are planned developments which include LochenHeath, Ridge Top, Bayridge, and Windward Ridge.

### 3

#### *Residential – Neighborhood*

This land development pattern occurs exclusively south of Bunker Hill Road to the township’s border with East Bay Township. Within this area, there are forty-one (41) suburban-style subdivisions and/or condo developments including Cranberry Woods, Springbrook Hills, Wellington Farms, Holiday Pines, and Sherwood Estate, to name a few. Many of these homes are situated on lots of ½ acre or less along curvilinear streets which rely on a collector road, such as Holiday Road or Bunker

Figure 18. Existing land use map

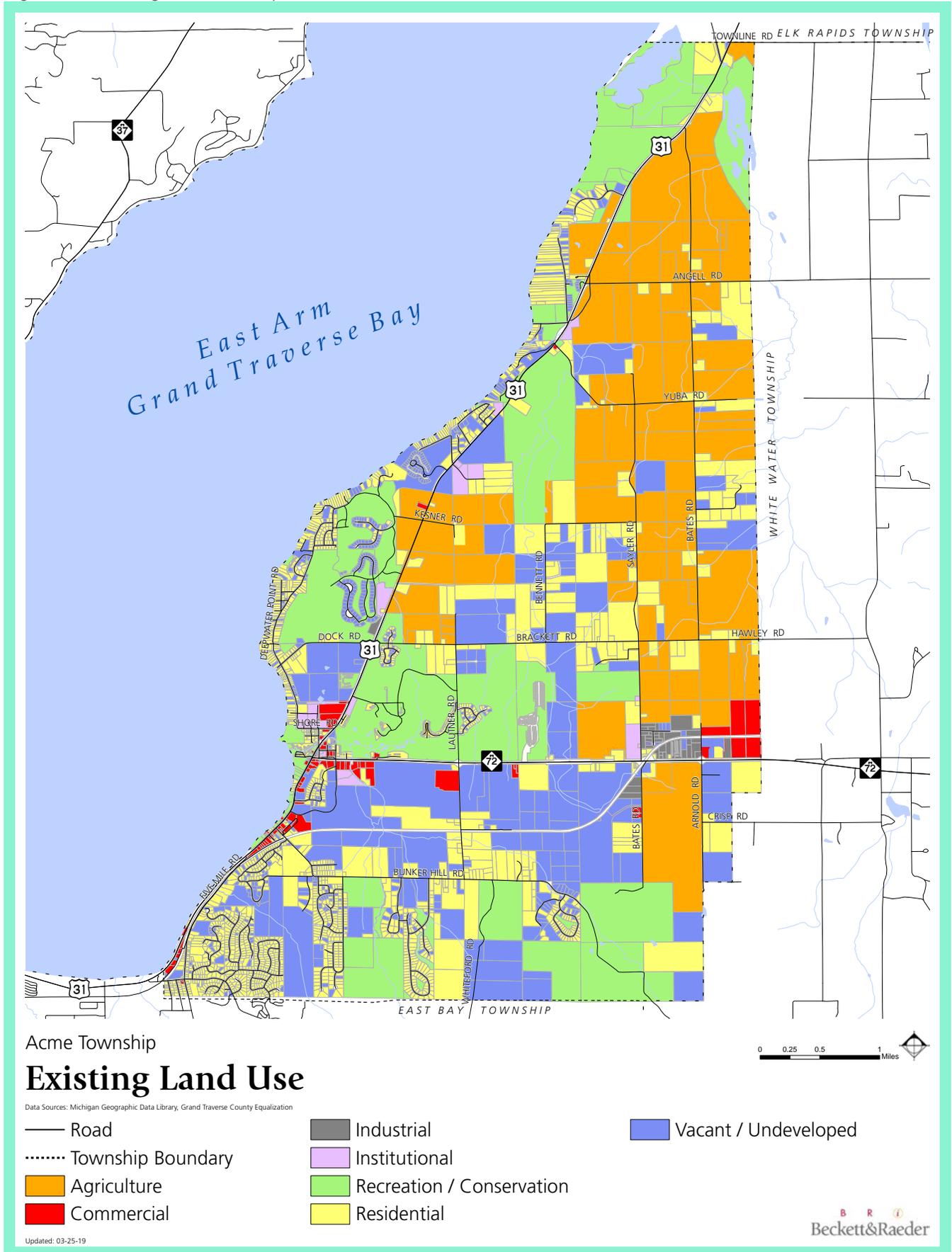
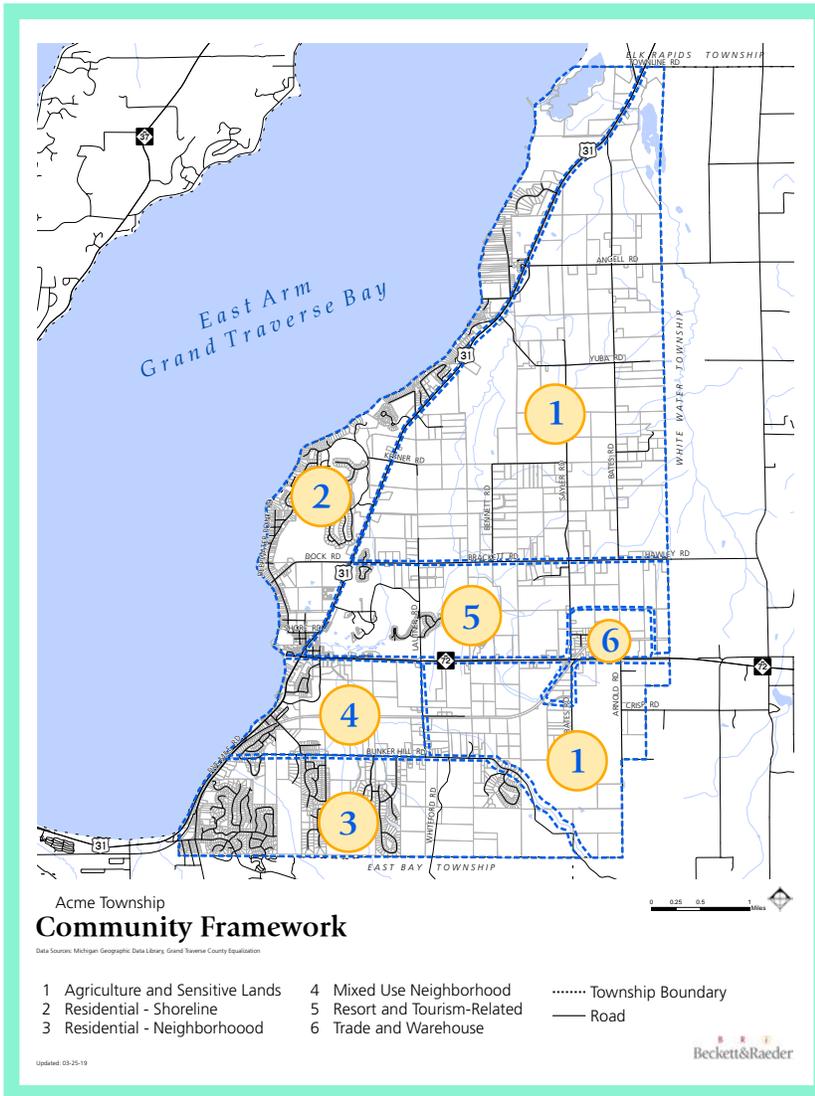


Figure 19. Community framework map



and transit. Future effort should be concentrated on connecting these neighborhoods with nearby commercial and recreational amenities.

**4**

*Mixed Use Neighborhood*

This is an emerging land development pattern in the Township. Generally bounded by M-72, US-31, Bunker Hill Road and Lautner Road, it includes planned developments known as the Grand Traverse Town Center, Acme Village along Mount Hope Road and the KOTI development off M-72. These developments include a variety of mixed land uses including residential, retail, professional offices, and institutional. Residential development includes a mix of single family and multiple family residential. This zone was included in the Acme Shores Placemaking Plan and, based on current vested development approvals, will develop into a mixed use district and business district for Acme Township. The 2014 Community Master Plan established this zone as the Town Center for the Township, focusing commercial and mixed development within a district rather than along M-72 in the form of commercial sprawl. Moving forward, Acme plans to focus mixed use and mixed

Hill Road, for primary access. Void of sidewalks and lacking an integrated street network, these subdivisions are primarily vehicular oriented, lack connectivity between neighborhoods, and are not walkable. Because the neighborhoods rely on Holiday Road and Bunker Hill Road for access, these roads accommodate more daily traffic than a similar

subdivision with a more connected street network would experience.

Street connectivity works when there are few dead-end streets and cul-de-sacs, and many points of access into and out of a residential neighborhood. Frequent intersections (nodes) create block lengths (segments or links) that are amendable to walking, bicycling,

housing development in the Mixed Use Village district.

## 5

### *Resort and Tourism Related*

This is a unique area of the Township which extends east of US-31 between Brackett Road and M-72 to Whitewater Township. Within this area are the Grand Traverse Resort and Spa, the Bear and Wolverine Golf Courses accessed from US-31, the Traverse Bay RV Park on M-72 and Flintfields Horse Park which is home to the Great Lakes Equestrian Festival, Acme Fall Festival, and other community events. Just over the Township border with Whitewater Township is the Turtle Creek Casino and Hotel. The largest property owner within this zone is the Grand Traverse Band of Ottawa and Chippewa Indians.

## 6

### *Trade and Warehouse*

The Trade and Warehouse area is a limited geographic area, approximately 130 acres, located in the eastern portion of the Township. The primary area is bounded by E. Railway Commons Road, Bates Road, Arnold Road and M-72. In addition, there is a portion of the zone that extends along South Bates Road adjacent to the Great Lakes Central Railroad. The Great Lakes Central Railroad (GLCR) which

provides freight service to Traverse City, runs through this area.

## FUTURE LAND USE CATEGORIES

### *Conservation and Recreation*

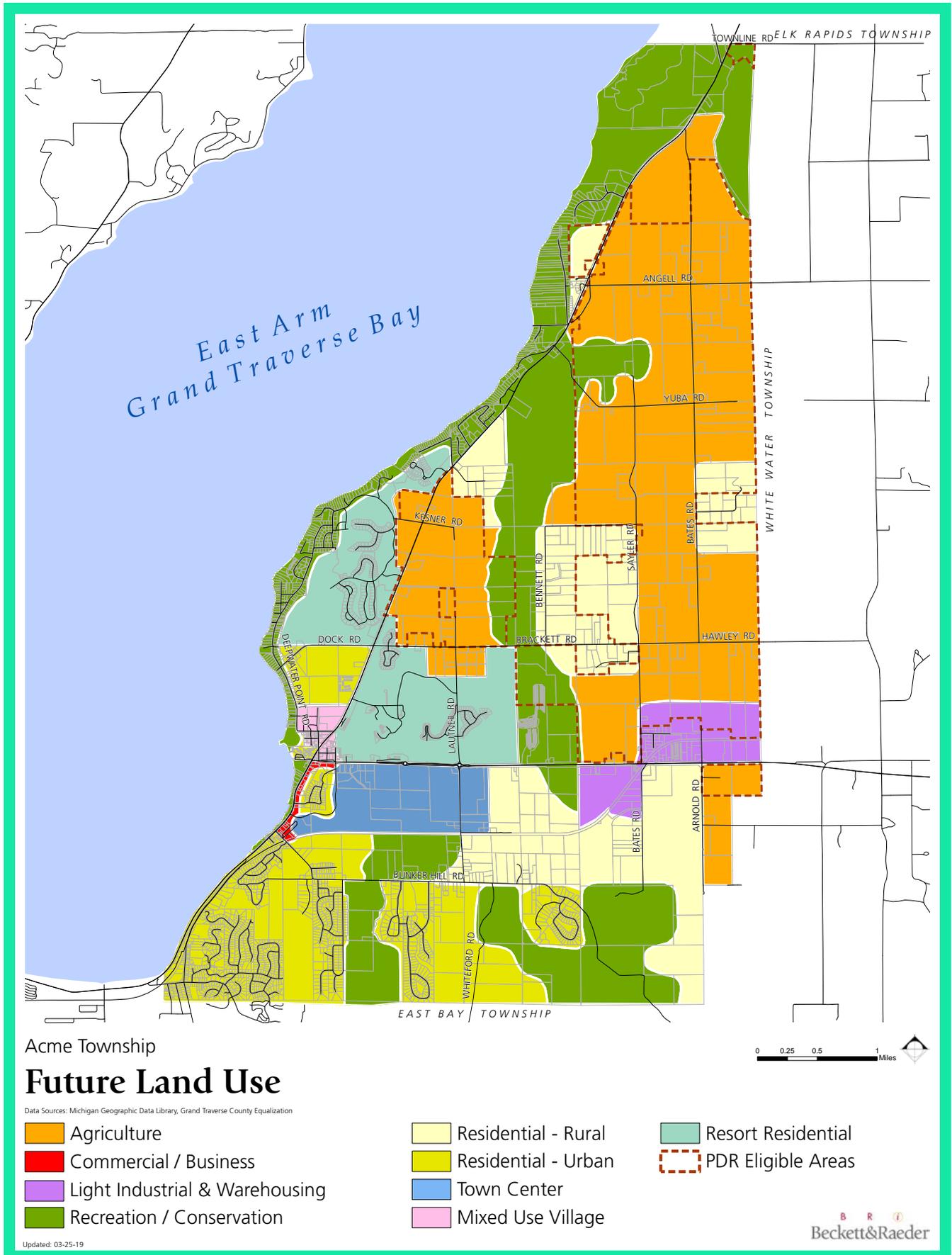
The Conservation and Recreation category encompasses land use for a large variety of recreation activities, and also land areas designated for conservation that have important natural resources and sensitive ecosystems. Some of the major existing areas with highly sensitive ecosystems in the Township include Acme Creek in the south, Yuba Creek and its extensive greenways and wetlands in the middle region, and the Petobego wetlands and pond in the far north. Other areas with important natural resources are the easterly shoreline of East Grand Traverse Bay, much of which is already privately owned and developed as residential, and the forested lands in the south of Acme Township with some of the oldest red oak and quaking aspen trees in Grand Traverse County. Additionally, there is an important network of greenways and wildlife corridors surrounding many of the creeks and streams that protect the stream habitat, including local and itinerant fauna and many kinds of local flora. Many existing parks, campgrounds, and water-access areas are found throughout the Township for the use and enjoyment of all residents, and these are noted in detail in the Recreation Inventory

of the Township's Parks and Recreation Master Plan.<sup>26</sup>

The main objectives of this Conservation and Recreation category are to sustain the integrity of Acme Township's natural ecosystems and natural resources, such as its creeks, streams, wetlands, forests, and Grand Traverse Bay shoreline, and to provide good quality, safe public recreation sites such as beaches and water access points, camping sites, hiking trails, ball fields, and other sports facilities. Given the importance placed on the lands in this category, Acme Township aims to work with other township, county, state, and federal authorities to maintain and conserve natural resources, including groundwater, within and adjoining the Township's lands. In connection with conserving the Township's natural resources, this land use category also provides for the establishment of wildlife habitat corridors.

The intended uses in this category include, but are not limited to: parks; campgrounds; other recreation uses such as fishing, hunting, hiking, trails, and sports fields; and the preservation of natural resources and wildlife habitat. In addition, development that is not intended for conservation or recreation must be carefully tuned to the needs of the natural environment and Acme Township's goal of preserving open space.

Figure 20. Future land use map



Residential development on conservation land is encouraged to use cluster housing, open-space development, or planned-unit development. Land uses in the Conservation and Recreation areas should comport with the policies and actions outlined in the Cornerstone entitled, "Maintain and Improve the Quality of Surface and Groundwater throughout the Township and in East Bay."

### *Agricultural*

The Agricultural category comprises land that is under active agricultural use and that is resistant to demographic and economic pressures that make other agricultural land likely for future development. Agricultural land is usually not served by public sewer or water supply and is generally distant from the high-density areas of the Township which is planned for and accommodated south of M-72. The terrain of existing agricultural lands consists of gently rolling hills and level fields interspersed occasionally with small forest areas. Land uses adjacent to the streams and wetlands of Yuba Creek should use sound environmental stewardship and ecological practices in order to conserve natural resources and protect highly sensitive ecosystems as well as ground- and surface-water. Acme Township's farmlands contribute substantially to the local and regional economy, open space, and natural resource base of the community, and so this category also encourages the establishment

of linkages and corridors for wildlife habitat.

A major objective of this land use category is to create a long-term business environment for agriculture in Acme Township. This category also aims to ensure that agriculture contributes to the character of Acme Township; contributes to Acme Township's and Grand Traverse County's economies, now and in the future; and prevents the loss of agricultural lands by encouraging the use of PDR and TDR programs and other means.

The intended uses in this category include, but are not limited to: farms under active cultivation; farmsteads and accessory structures; agriculture-related industries; agriculture-based enterprises; nurseries and green houses; and other agriculture-friendly forms of development. Land uses in the Agricultural areas should comport with the policies and actions outlined in the Cornerstone entitled, "Support the Continuation of Agricultural Operations and Preservation of Farmland." Residential development should use conservation designs through cluster housing, open-space development, or planned unit development. The Township contemplates that residential developments must work around extant agricultural uses, and in some circumstances the current density of 1 dwelling unit per 5 acres should be lowered to 1 dwelling unit per 1 acre if cluster

and/or open space (farmland) subdivisions are used.

The PDR-eligibility map is overlain on the Future Land Use Map (Figure 20) in order to qualify for state funding.

### *Rural Residential*

The rural residential category encompasses areas in Acme Township with special natural features that shall be preserved in the environmentally significant areas as identified on the Future Land Use Map. This category also encompasses those areas of rolling hills and open spaces that were formerly agricultural or are in a transitional state from agriculture to residential and complementary uses. The density is generally low to medium, with single-family houses built on large-scale parcels. The land features in this category include level fields, gently rolling hills, steep slopes, thick woodlands, wetlands, creeks, and streams. In all new residential construction, conservation-development designs shall be used to retain the vegetation, natural features, and open space existing on the developed sites. Land uses adjacent to the streams and wetlands of Yuba Creek should use sound environmental stewardship and ecological practices in order to conserve natural resources and protect highly sensitive ecosystems as well as ground- and surface-water.

The objectives of this category are to provide limited and low density residential development in the rural areas of the Township where sensitive ecosystems and special natural land features such as steep slopes, creeks and streams are prevalent. However, conservation-development designs will be strongly encouraged to prevent sprawling development that undermines the integrity of open space and agricultural uses, and appropriate buffers should be planned to minimize the impact on existing agricultural uses. Another important objective is to encourage responsible stewardship among landowners in the development of the land so that the natural features are preserved to the fullest extent, especially in the areas with highly sensitive ecosystems and where special natural features abound, through the use of cluster housing, open-space development, and planned-unit development.

In the areas with highly sensitive natural features and ecosystems, the Township shall insist on conservation development in order to protect the most sensitive land by clustering housing on the least sensitive land. Land uses in the Rural Residential areas should comport with the policies and actions of the Cornerstones.

### *Urban Residential*

The Urban Residential designation comprises high-density areas, including established residential

neighborhoods in the southwest region of the Township as well as established and future development on land suitable for high-density single- or multiple-family development. This category contemplates small lots in order to absorb population growth and check sprawling development, and includes affordable housing. Although the Urban Residential designation does not contemplate mixed commercial and residential uses, developments in Urban Residential would be supportive of mixed use development and would benefit from being placed adjacent to mixed use districts.

Objectives of this category include encouraging development of good quality, high-density residential living, and affordable living that will minimize the encroachment of such development on farms, forests, and environmentally sensitive areas. This category is also intended to encourage a walking community with good neighborhood sidewalk systems and promote connections within and between housing developments in general as a means to increase the connectivity index.

Primary uses within this category are single-family detached homes, attached single-family structures such as townhouses and duplexes, and multiple-family residences such as stacked ranches, apartment buildings, group living quarters, manufactured homes, and mobile home parks. Other complementary

uses such as churches, schools, and parks would be permitted. The Urban Residential section contemplates the existence, and continued existence, of the GT Resort & Spa and its ability to develop as a resort, with commercial uses as part of the Resort's core business.

### *Commercial*

The Commercial category is characterized by land use for retail stores and service-oriented businesses that provide daily shopping, convenience and comparison shopping, and professional offices that service Acme Township residents and others in the region. The existing commercial lands lie mainly along M-72 and a short strip of Highway US-31 N, the major federal and state roadways running through Acme Township, with motor vehicle transportation needed to reach most business venues along these trunk lines. An existing shopping area on Highway US-31 N, which is also a vehicle-oriented complex, provides a large grocery store and a recently closed discount store; many small office complexes are also located off the two major trunk lines in the Township. There is a small commercial district on the northeast corner of US-31 and Bunker Hill Road.

The intended uses in this category include, but are not limited to: grocery stores, bakeries, garden supply stores, banks, laundries,

pharmacies, hardware stores, gas stations and automotive service business including supermarkets, general merchandise stores, restaurants (fast and non-fast food types), coffee shops, professional offices of various kinds, and personal service businesses (hair salons, spas and so on).

### *Resort Residential*

This category of land use is set aside for uses that are predominantly residential in nature but are often used by vacationers or on a seasonal basis. The Resort Residential district accommodates some mix of uses including entertainment, restaurants, golf courses, and retail. This land use recognizes the importance of the seasonal economy in Acme Township and sets aside a special category for uses of this nature.

### *Mixed Use Village*

This category of land use encourages the development of an integrated, walkable, mixed-use and mixed housing area located within the former historic Acme Village. This condensed district is intended to be walkable and connected via non-motorized trails and thoughtful sidewalk networks. It will allow residents to live in a variety of housing types, including types that match existing conditions and provide greater density, such as townhouses, apartments, and rowhouses, while being close to essential services and a mix of land uses.

Public infrastructure, water, sanitary sewer, roads, and non-motorized pathways will be required to fully develop and link properties into this cohesive community mixed use district. Sanitary sewer currently serves the district's existing capacity, but with proposed higher density in this area, additional capacity should be considered. Some sidewalks are found along the major corridors but are largely missing along most roads, and evidence of informal sidewalk paths can be seen along residential streets. By increasing mixed housing options, this district can serve the changing needs of Acme residents. Encouraging new residential growth with densities of 10-14 units per acre can help foster housing for a growing workforce and aging population. Limited neighborhood commercial services are located on the corners in established neighborhoods.

### *Town Center*

This category of land use encourages the development of an integrated, walkable, mixed-use, high density area located in the core of the Township as envisioned in the Acme Shores Placemaking Plan. The hallmark of this future land use will be the seamless connection between public and private properties with well-designed buildings and public spaces, streetscapes, landscapes, signage, access and circulation for both motor & non-motorized traffic and pedestrians, facilities for public transportation, low impact storm water control, dark sky sensitive

lighting, and other elements that reflect and add to a vibrant business district.

The intended uses in this category include, but are not limited to: general merchandise stores, restaurants (non-fast food types), coffee shops, professional offices of various kinds, motels, furniture stores, and personal service businesses (hair salons, spas and so on). This category also contemplates the possibility of mixed-use with residential dwellings above the first floor. Land uses in the Commercial areas should comport with the policies and actions of the Cornerstones entitled, "Create a Vibrant, High-Quality, Compact Commercial and Mixed Use District," "Focus on Infrastructure Improvement," and "Encourage Recreation-based Tourism."

### *Light Industrial & Warehousing*

The light Industrial and warehousing category encompasses land use for light industrial, trade-related business and warehousing enterprises in the Township. The existing uses currently are located along state highway M-72 and Bates Road (an area comprising some existing development of higher density industrial and business uses).

The main objectives of the Industrial land use category are to provide for non-intrusive industrial operations in high density areas that stimulate the economic vitality of the Township

without negatively impacting the surrounding area, and to provide employment opportunities for residents of the Township and surrounding region. Sound access management planning should be included in any new industrial developments.

The intended uses in this category include, but are not limited to: enclosed wholesale facilities, warehouses, high technology industries, light manufacturing, telecommunications industry, and other non-intrusive industrial enterprises. Land uses in the Industrial area should comport with the policies and actions of the Master Plan.

## ECONOMIC DEVELOPMENT ZONES

This plan delineates four economic development zones for the Township, shown in Figure 21. These include the agricultural properties north of M-72, the rural recreation and entertainment area north of M-72, the growth and investment area near the intersection of US-31 and M-72 within the sewer district, and the industrial district on M-72 at the east end of the Township. The agricultural, resort, and commercial areas are primarily focused on private development, and the rural recreation area is focused on a mix of private and public investment.

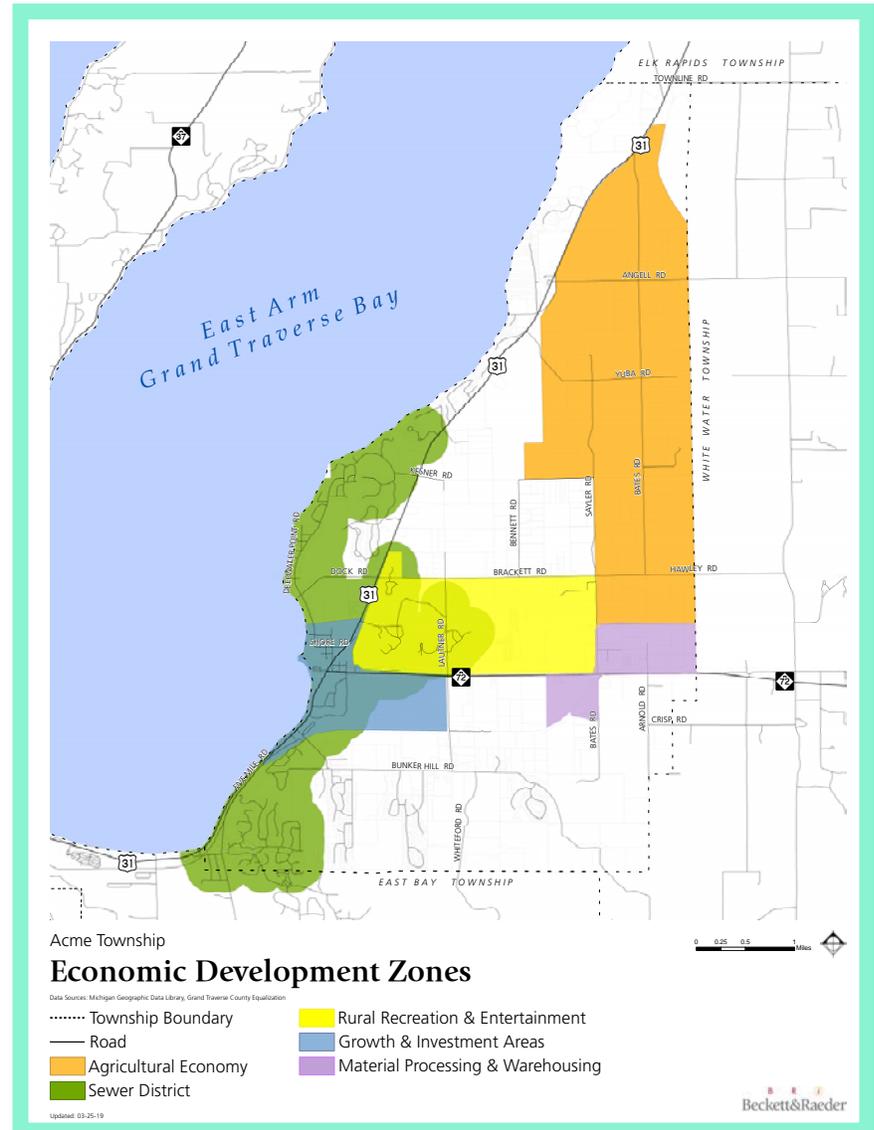
Distinguishing economic

development areas helps to strategically focus limited resources in zones to maximize the greatest potential gain. This is an advantage when partnering with other agencies which need reassurance that their funds will be expended toward a defined community priority. In some communities this is called “strategic doing,” where alignment of community priorities and

recognition of these priorities by other network collaborators results in funding and implementation.

At the local level, infrastructure and regulatory requirements should be evaluated to ensure that they do not inhibit investment and development.

Figure 21. Economic Development Zones map



## ZONING PLAN

The Michigan Planning Enabling Act of 2008 requires the inclusion of a zoning plan in the master plan.<sup>27</sup>

The zoning plan calls attention to changes that needs to be made to the current zoning ordinance in

order to bring it into alignment with the new master plan. Specifically, the zoning plan looks to show the relationship between the future land use map and the zoning map, and to suggest ordinance revisions to

strengthen that relationship. The changes suggested are necessary in order to help implement specific aspects of the master plan (Table 3).

Table 3. Zoning chart

SPECIFIC DISTRICT REVISIONS						
EXISTING ZONING DISTRICTS		USES (GENERAL)	SETBACKS	LOT SIZE (MINIMUM)	PROPOSED MODIFICATIONS	PROPOSED ZONING DISTRICTS
AGRICULTURE A-1		Various agricultural and related enterprises including crop, fruit, and livestock production and processing, agri-tourism, and single-family detached dwellings	FRONT 50' REAR 40' SIDE 25'	5 Acre	Limit conflicts between agricultural and residential uses through increased side and rear setbacks, eliminating the option of density transfer receiving zone, and the continued support of the Purchase of Development Rights program.	AGRICULTURAL AG
R-1: ONE FAMILY FOREST & COASTAL		Single-family detached dwellings on larger lots	FRONT 30' REAR 35' SIDE 20'	1 Acre	Change name of zoning classification to SFR: Single-Family Rural	SFR: Single-Family Rural
R-2: ONE FAMILY URBAN RESIDENTIAL	With Sewer	Single-family detached dwellings	FRONT 30' REAR 20' SIDE 10'	15,000 Sq. Ft.	Combine with R-3 and rezone to SFN without the form-based code requirements	SFN: Single-Family Neighborhood
	Without Sewer		FRONT 30' REAR 30' SIDE 10'	20,000 Sq. Ft.		
R-3: Urban Residential	With Sewer	Single-family detached dwellings by right. Duplex and multi-family dwellings through SUP	Front - 30' Rear - 30' Side - 10'	15,000 Sq. Ft.	Combine with R-2 and rezone to SFN without the form-based code requirements	SFN: Single-Family Neighborhood
	Without Sewer			20,000 Sq. Ft.		
R-1MH: Manufactured Home Residential		Mobile home residential units and communities	Same as R-3 except as outlined in Article XII		Rezone parcel at southern terminus of Bates Rd to AG: Agricultural	AG: Agricultural

Table 3. Zoning chart (Continued)

SPECIFIC DISTRICT REVISIONS (CONTINUED)						
EXISTING ZONING DISTRICTS		USES (GENERAL)	SETBACKS	LOT SIZE (MINIMUM)	PROPOSED MODIFICATIONS	PROPOSED ZONING DISTRICTS
US-31 / M-72 Business District	SFN: Single-Family Neighborhood	Detached single-family homes	Front* - 30' Rear - 30' Side - 10'	Lot Width Min - 100'	Rezone area indicated as Mixed Use Village on the FLUM to MHN.	MHN: Mixed Housing Neighborhood
	MHN: Mixed Housing Neighborhood	Single- and multi-family housing with a max density of 12 du/acre	Front* - 30' Rear - 30' Side - 10'	Lot Width Min - n/a	Allow limited residential-based commercial uses	MHN: Mixed Housing Neighborhood
	CS: Corridor Shoreline	Public access to Grand Traverse Bay, single- & multifamily residential	Front* - 30' Rear - 35' Side - 10'	Lot Width Min - 100'	Establish uses consistent with outdoor recreation/conservation, limiting residential and commercial uses.	CS: Corridor Shoreline
	C: Corridor Commercial	Traditional mixed use district with a max density of 14 du/acre	Front* - 20' Rear - 25' Side - 3'	Lot Width Min - 20'	More clearly define allowed uses and circulation standards (vehicle and non-motorized)	CF: Corridor Flexible
	CF: Corridor Flexible	Traditional mixed use district with a max density of 18 du/acre	Front* - 20' Rear - 5' Side - 5'	Lot Width Min - 20'	More clearly define allowed uses and circulation standards (vehicle and non-motorized)	CF: Corridor Flexible
B-3: Planned Shopping Center	Primarily retail planned developments, with limited recreational, civic and automobile services	Front - 20% lot depth (40' - 60')	5 acres	Delete District. Development pattern can be accomplished by C and CF districts and through the Planned Development option.	Rezone parcel on M-72 to LIW: Light Industrial & Warehousing. Rezone GT Resort & Spa CF: Corridor Flex	
B-4: Material Processing & Warehousing	Light industrial, storage, warehousing, distribution, wholesale, contractor services, research and development	Side & Rear - 10% lot width (10' - 50')	n/a	Expand district boundaries to include parcel accessed off M-72, north of the railroad tracks that is currently zoned B-3: Planned Shopping Center.	LIW: Light Industrial & Warehousing	

\* US-31 / M-72 Business District utilizes a front built-to-line as opposed to a traditional setback

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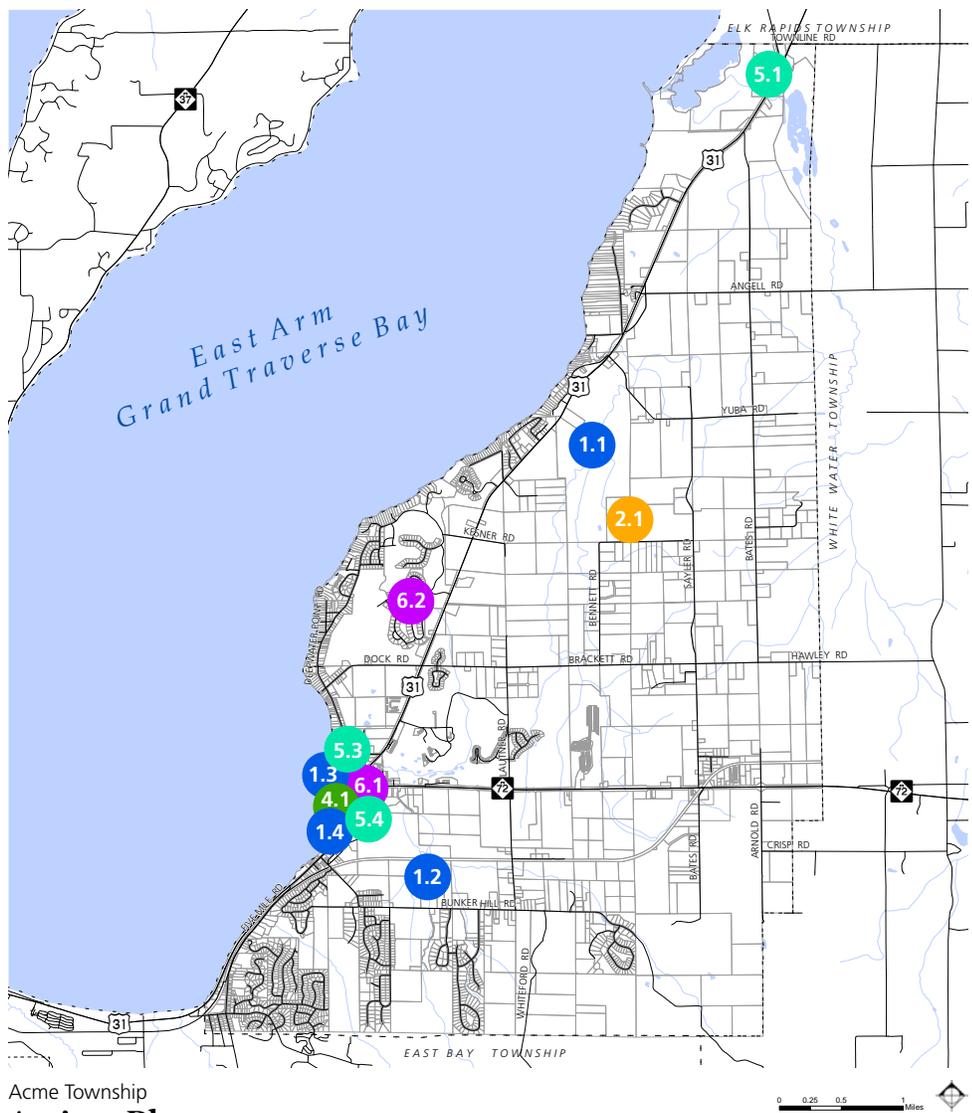
# IMPLEMENTATION AND ACTION



## ACME TOWNSHIP ACTION PLAN

The success of the Acme Township Community Master Plan will be benchmarked against the implementation of a number of programs and projects which are based on the outcome of the resident and business survey and the Master Plan Cornerstones. The Action Plan is segmented into eight categories; projects and programs are identified within each category. Table 4 identifies the projects and programs that reflect the intent of the community and, at the same time, adhere to planning best practices. These actions leverage opportunities and integrate them together to form a cohesive, well functioning, and stable community.

Figure 22. Action plan map



### Acme Township Action Plan

Data Sources: Michigan Geographic Data Library, Grand Traverse County Equalization

- 1 - Water Quality
- 2 - Agriculture
- 4 - Parks and Recreation
- 5 - Nonmotorized Transportation
- 6 - Public Infrastructure

- Community-Wide (not shown):
- Regulatory, 3.1
  - Nonmotorized Transportation, 5.2
  - Public Infrastructure, 6.3
  - Housing, 7.1-7.3
  - Administrative Capacity, 8.1-8.3

Table 4. Action plan

GOALS	ACTIONS
<b>WATER QUALITY</b>	
Protect water quality by actively monitoring the effectiveness of storm water treatment projects and the presence and source of any bacterial agents.	Continue water quality testing at: Yuba Creek Natural Area Acme Creek within the Grand Traverse Town Center project area Bayside Park and Sayler park Bunker Hill Boat Launch
<b>AGRICULTURE</b>	
Continue the Township’s effort to preserve farming and orchard operations.	Continue the Purchase of Development Rights (PDR) and Transfer of Development Rights (TDR) Programs
<b>REGULATORY</b>	
Revise the Acme Township Zoning Ordinance.	Streamline the structure and provisions of the current code.
<b>PARKS &amp; RECREATION</b>	
Implement key projects identified in the Township’s 5-year Parks System Plan	Design, fund and implement planned improvements for Bayside Park
<b>NONMOTORIZED TRANSPORTATION</b>	
Connect Township assets with the regional nonmotorized pathways and trails.	Collaborate with MDOT, TART, land owners, and other local governments on implementation of the Traverse City to Charlevoix Trail.
	Develop a comprehensive non-motorized plan that can inform implementation of new development projects.
	Develop standards to require sidewalks with new and redeveloped properties in the Growth and Investment Area
	Collaborate with the business community to install an 8-foot sidewalk on the east side of U.S. 31.
<b>PUBLIC INFRASTRUCTURE</b>	
Provide Township residents and business with access to high quality public water and sewer services.	Formalize an arrangement with the GTB to provide potable water to the Growth & Investment Area.
	Continue to expand sanitary sewer services within the sanitary district.
	Update the capital improvements program for the Township to include detailed cost estimates and time-frames for water, sanitary sewer, stormwater, and road improvements
<b>HOUSING</b>	
Provide a variety of housing for existing and future residents.	Coordinate with Networks Northwest on a housing Target Market Analysis.
	Explore the adoption of a PILOT (payment in lieu of taxes) ordinance to facilitate the development of workforce housing.
	Ensure diverse, affordable, accessible housing in the Township through partnerships with Homestretch, the newly formed Housing North non-profit, the Tribe, and others
<b>ADMINISTRATIVE CAPACITY</b>	
Provide opportunities for training, continuing education, and authentic public engagement.	Continue the policy of providing training and continuing education for elected and appointed officials.
	Develop a regular Township e-newsletter to update residents on current events.
	Identify a location and construct a new Township Fire Station / Township Hall.
	Allocate funds to conduct a comprehensive citizen survey in 2024.

# APPENDIX

## ENDNOTES

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## Shawn Winter

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**From:** Paul Thwing <ThwingPa@tcaps.net>  
**Sent:** Tuesday, April 16, 2019 3:22 PM  
**To:** Shawn Winter  
**Subject:** Re: Township Draft Master Plan

Shawn,  
While the school is not being used for classes we do plan to maintain the building and grounds. It has occasional uses but nothing regular or ongoing. TCAPS does not have a definite plan for its future use at this time.

Paul D. Thwing, R.A.  
Director of Capital Projects & Planning  
[thwingpa@tcaps.net](mailto:thwingpa@tcaps.net)  
p 231.933.1935 f 231.933.1945  
1212 Cass Road, Traverse City, Michigan 49685



On Mon, Apr 15, 2019 at 8:42 AM Shawn Winter <[swinter@acmetownship.org](mailto:swinter@acmetownship.org)> wrote:

Thank you, Paul. I will pass this along to our Planning Commission. At one time I believe I heard the school may be used during the Glenn Loomis construction, but it sounds like the Board's new plan wouldn't require that. To your knowledge, does TCAPS have any plans for the facility that would be worth including in the master plan?

Thanks,

**Shawn Winter**

Planning & Zoning Administrator

Acme Township

6042 Acme Rd | Williamsburg, MI | 49690

Phone: 231.938.1350 Fax: 231.938.1510

[swinter@acmetownship.org](mailto:swinter@acmetownship.org)

**From:** Paul Thwing <[ThwingPa@tcaps.net](mailto:ThwingPa@tcaps.net)>  
**Sent:** Friday, April 12, 2019 10:48 AM  
**To:** Shawn Winter <[swinter@acmetownship.org](mailto:swinter@acmetownship.org)>  
**Subject:** Township Draft Master Plan

Shawn,

In reading through the master plan reference is made to Bertha Vos International School. The International School and Bertha Vos have been closed. We used the school as an interim location while the new Eastern Elementary was being constructed, but that discontinued when the new school was opened. The report also mentions the playground and an ice rink/hut. To my knowledge the ice rink/hut has not been used for years and our playground has been dismantled.

I'm not sure of the importance this detail carries in the report but felt sharing this with you was worthwhile.

Please contact me if you have any questions.

Paul D. Thwing, R.A.  
Director of Capital Projects & Planning  
[thwingpa@tcaps.net](mailto:thwingpa@tcaps.net)  
p 231.933.1935 f 231.933.1945  
1212 Cass Road, Traverse City, Michigan 49685



May 17,2019  
Jay Zollinger  
Shawn Winter

Gentlemen, your proposal master plan changing the zoning of a private piece of land, Prop # 2801-111-012-10 Bartlett RD, ) from residential to recreational for a park is stripping the private owner, David Steffey DDQ,LLC, of any future residential building and drastically reducing its value. This is being done without informing the land the owner of this proposal early in the process to get my input. This creates a significant dilemma for me that has essentially blindsided me and is forcing me into an adversarial response in order to preserve the value and rights of my property. I have offered the Township, county, and state the opportunity to purchase this piece of property for park use which has been listed for almost a year on the real estate market. Yet none of you "wanted it", or at least wanted to pay for it.

I paid the purchase price based on the zoning and have paid my taxes at a rate based on residential use and zoning and significant insurance costs due to the constant trespassing and public use of this property, through the VASA trail which I support. Now, in effect, you are attempting to convert this property into Parkland without my input by "down-zoning" my property to recreational, stripping it of all building rights, and making it essentially useless to me and anybody but you for YOU as a park. This essentially is a land grab, land taking. Your actions and lack of information and contact with me is requiring immediate action on my part including legal consultation to protect my rights. Two legal opinion support the position that this is essentially a "land grab" and that the courts will uphold this and award me damages for the loss of value, insurance payments, back taxes, and legal fees. I'm a big supporter of parks and recreational facilities to help and benefit the health of our population AND creative development to meet the needs of our population and increase the tax base in Acme Township. But, I am not a proponent of this kind of tactics. I would like to set up a meeting with you, myself and likely my attorney, the first week of May.

David Steffey,



Principle, DDQ, LLC  
109 19<sup>th</sup> street  
Traverse City, MI 49684  
231-499-0576

Bartlett Rd



2018 Summer Tax Bill  
www.acmetownship.org

DD #2737

#3,345.02

886

Message to Taxpayer

This tax is due by 9/14/2018

ACME TOWNSHIP OFFICE HOURS:  
MONDAY - THURSDAY 7:30AM-6:00PM.  
WE NOW HAVE A SECURE DROP BOX OUTSIDE THE  
TOWNSHIP OFFICE FOR CONVENIENT 24 HR  
ACCESS. NO CASH PLEASE.

PLEASE CHECK YOUR BANK STATEMENT TO CONFIRM YOUR CHECK HAS  
CLEARED. IF YOUR CHECK HAS NOT CLEARED WITHIN 2 WEEKS, PLEASE  
CALL 231-938-1350 TO CONFIRM WE HAVE RECEIVED YOUR PAYMENT.

TO PAY YOUR TAXES ONLINE GO TO ACMETOWNSHIP.ORG. UNDER "YOUR  
TOWNSHIP" CHOOSE "TAX INFORMATION" AND FOLLOW THE PROMPTS.  
THERE IS A \$3.00 FEE PLUS THE VENDOR FEE CHARGED BY YOUR CREDIT  
CARD COMPANY (NORMALLY 3%).

PROPERTY INFORMATION

TAX DETAIL

Property Assessed to:  
DDQ LLC  
  
109 W 19TH ST  
TRAVERSE CITY, MI 49684  
  
Prop # 2801-111-012-10 School 28010  
Prop Addr BARTLETT RD

Taxable Value 90,000 RESIDENTIAL - VACAN  
State Equalized Value 90,000 Class 402  
PRE/MBT % 0.0000

Taxes are based upon Taxable Value.  
1 mill equals \$1.00 per \$1000 of Taxable Value.  
Amounts with no millage are either Special  
Assessments or other charges added to this bill.

Legal Description  
SW 1/4 OF NW 1/4 EXC THE SUGAR BUSH SUB & EXC S 220' OF E 440' SEC 11  
T27N R10W

DESCRIPTION	MILLAGE	AMOUNT
NMC-OPERATING	1.07200	96.48
NMC-DEBT	0.28500	25.65
TBA/ISD	2.91970	262.77
TCAPS-OPERATING	18.00000	1,620.00
TCAPS-DEBT	3.10000	279.00
STATE ED	6.00000	540.00
COUNTY	4.92460	443.21
BATA	0.49780	44.80

OPERATING FISCAL YEARS

The taxes on bill will be used for governmental operations for the  
following fiscal year(s)

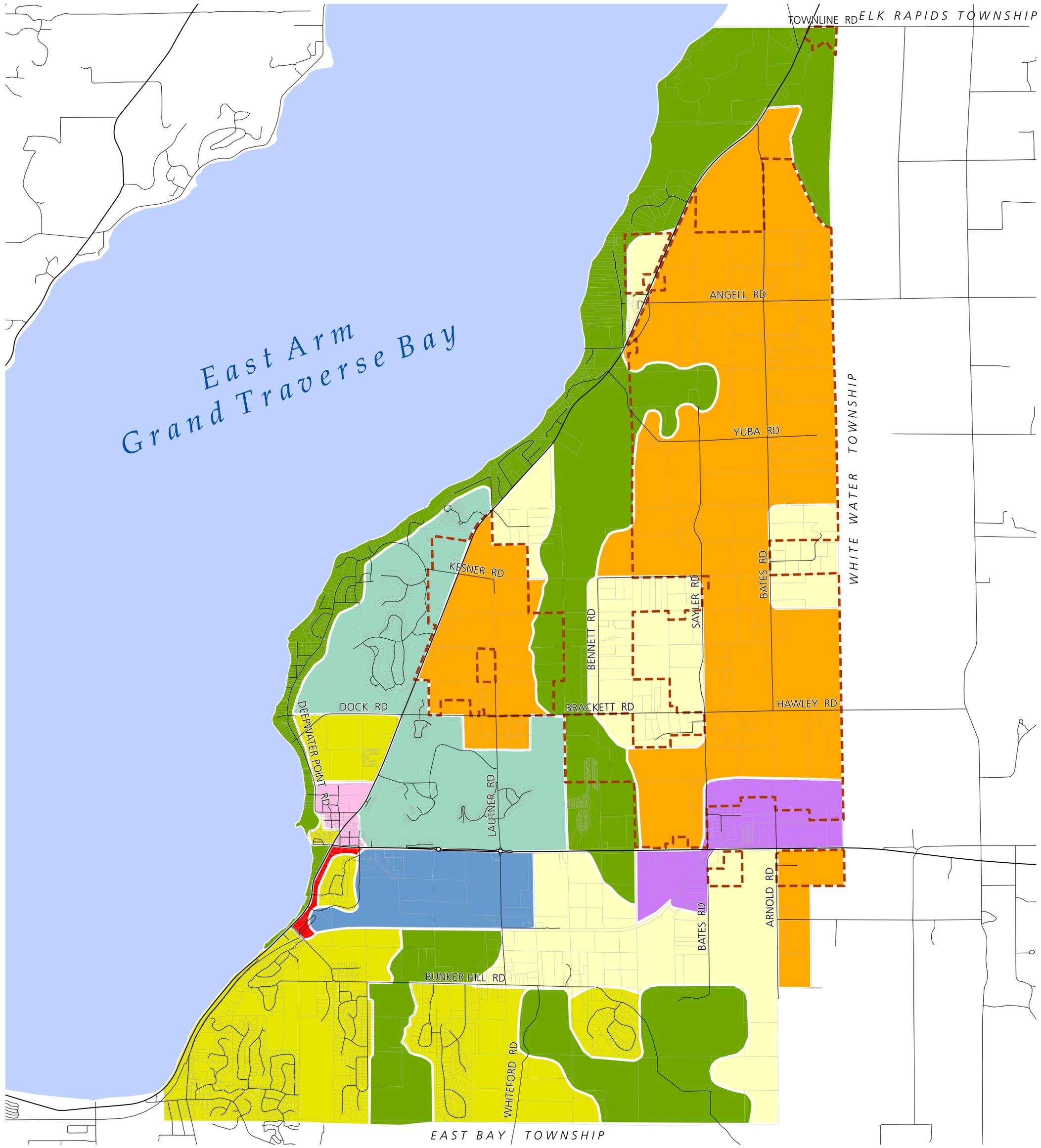
County 01/01/2018 - 12/31/2018  
Twn/Cty 07/01/2018 - 06/30/2019  
School 07/01/2018 - 06/30/2019  
State 10/01/2018 - 09/30/2019

Does NOT affect when the tax is due or its amount

Total Tax 36.79910 3,311.91  
Administration Fee 33.11

AMY JENEMA, TREASURER  
SARAH LAWRENCE, DEPUTY TREASURER  
6042 ACME ROAD  
WILLIAMSBURG, MI 49690  
231-938-1350

TOTAL AMOUNT DUE 3,345.02



Acme Township

# Future Land Use

Data Sources: Michigan Geographic Data Library, Grand Traverse County Equalization

- Agriculture
- Commercial / Business
- Light Industrial & Warehousing
- Recreation / Conservation
- Residential - Rural
- Residential - Urban
- Town Center
- Mixed Use Village
- PDR Eligible Areas



Updated: 04-18-19

ACME TOWNSHIP  
GRAND TRAVERSE COUNTY, MICHIGAN

ACME TOWNSHIP PLANNING COMMISSION  
RESOLUTION RECOMMENDING THE ADOPTION OF THE  
ACME TOWNSHIP COMMUNITY MASTER PLAN 2019

WHEREAS, the Michigan Planning Enabling Act (MPEA) authorizes municipal planning commissions to prepare a "master plan" pertinent to the future development of the municipality; and

WHEREAS, the Planning Commission has prepared a draft Community Master Plan for the municipality, to update and replace its previous Community Master Plan; and

WHEREAS, the Acme Township Board of Trustees authorized the distribution of the draft Community Master Plan to the general public and the various entities as required by the MPEA, for review and comment purposes; and

WHEREAS, the proposed Community Master Plan was made available to the various entities and the general public as required by the MPEA, and a public hearing thereon was held by the Planning Commission on June 10, 2019 pursuant to notice as required by the MPEA; and

WHEREAS, the Planning Commission finds the proposed Community Master Plan as submitted for the public hearing is desirable and proper, and furthers the land use and development goals and strategies of the Township;

NOW, THEREFORE, the Acme Township Planning Commission adopts the new Community Master Plan as submitted for the public hearing with edits identified by the Planning Commission at the June 10, 2019 public hearing, including all the text, charts, tables, maps, and descriptive and other matter therein intended by the Planning Commission to form the complete Community Master Plan, including the Future Land Use Map.

CERTIFICATE

I hereby certify the foregoing resolution was approved by a majority of the members of the Acme Township Planning Commission by a roll call vote at a regular meeting of the Commission held on June 10, 2019 in compliance with the Open Meetings Act.

Motion by: \_\_\_\_\_

Seconded by: \_\_\_\_\_

Ayes:

Nays:

Absent:

Abstain:

---

Chair, Acme Township Planning Commission

**TOWNSHIP OF ACME**  
**NOTICE OF HEARING**

PLEASE TAKE NOTICE that the ACME TOWNSHIP PLANNING COMMISSION will hold a public hearing at its regular meeting on Monday, June 10, 2019 at 7:00 p.m. at the former Acme Laundromat, 3593 Bunker Hill Rd, Williamsburg MI 49690, to solicit comments on the DRAFT Acme Township Community Master Plan (2019) and to consider its adoption.

**DRAFT Acme Township Community Master Plan (2019)**

The DRAFT Acme Township Community Master Plan (2019) is meant to serve as a guiding document for planning and development decisions in the community, and as a resource of updated data. The public hearing will be held pursuant to Section 41 (MCL 125.3841) of Public Act 33 of 2008, known as the Michigan Planning Enabling Act.

**Copies of the entire DRAFT Acme Township Community Master Plan are available for review at the Acme Township hall. Office hours are Monday through Thursday, from 7:30 a.m. to 6:00 p.m.** The DRAFT Acme Township Community Master Plan is also available for review on the Township's website at [www.acmetownship.org](http://www.acmetownship.org). All interested persons are invited to attend and be heard at public hearings before the Planning Commission. After each public hearing, the Planning Commission may or may not deliberate and take action. If you are planning to attend and require any special assistance, please notify Cathy Dye, Township Clerk, within 24 hours of the meeting at 938-1350. This notice is in compliance with Public Act 267 of 1976 (as amended), the Open Meetings Act.

**Written comments may be directed to:**

Shawn Winter, Planning & Zoning Administrator  
6042 Acme Road, Williamsburg, MI 49690, (231) 938-1350, [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

T. C. RECORD-EAGLE, INC.  
120 WEST FRONT STREET  
TRAVERSE CITY MI 49684  
(231)946-2000  
Fax (231)946-8273

ORDER CONFIRMATION

Salesperson: DENISE LINGERFELT Printed at 05/15/19 14:54 by dling  
-----  
Acct #: 6 Ad #: 520002 Status: New WHOLD  
ACME TOWNSHIP Start: 05/26/2019 Stop: 05/26/2019  
CATHY DYE, CLERK Times Ord: 1 Times Run: \*\*\*  
6042 ACME ROAD STDAD 3.00 X 3.88 Words: 274  
WILLIAMSBURG MI 49690 Total STDAD 11.64  
Class: 147 LEGALS  
Rate: LEGAL Cost: 120.55  
# Affidavits: 1  
Contact: Ad Descrpt: LEGAL NOTICE TOWNSHIP OF  
Phone: (231)938-1350 Given by: EMAIL SHAWN WINTER  
Fax#: (231)938-1510 P.O. #:  
Email: jzollinger@acmetownship.org Created: dling 05/15/19 14:50  
Agency: Last Changed: dling 05/15/19 14:54  
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PUB	ZONE	EDT	TP	START	INS	STOP	SMTWTFS
RE	A	97	W	Sun 05/26/19	1	Sun 05/26/19	SMTWTFS
IN	AIN	97	W	Sun 05/26/19	1	Sun 05/26/19	SMTWTFS

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AUTHORIZATION

Thank you for advertising in the Record-Eagle, our related publications and online properties. If you are advertising with the Record-Eagle classifieds, your ad will begin running on the start date noted above.

Please be sure to check your ad on the first day it appears. Although we are happy to make corrections at any time, the Record-Eagle is only responsible for the first day's incorrect insertions. Also, we reserve the right to edit or reclassify your ad to better serve buyers and sellers.

No refunds or rebates will be issued if you cancel your ad prior to the stop date.

We appreciate your business.

(CONTINUED ON NEXT PAGE)

T. C. RECORD-EAGLE, INC.  
120 WEST FRONT STREET  
TRAVERSE CITY MI 49684  
(231)946-2000  
Fax (231)946-8273

ORDER CONFIRMATION (CONTINUED)

Salesperson: DENISE LINGERFELT

Printed at 05/15/19 14:54 by dling

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Acct #: 6

Ad #: 520002

Status: New WHOLD WHOI

**LEGAL NOTICE  
TOWNSHIP OF ACME  
NOTICE OF HEARING**

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Shawn Winter, Planning & Zoning Administrator  
6042 Acme Road, Williamsburg, MI 49690, (231) 938-1350,  
[swinter@acmetownship.org](mailto:swinter@acmetownship.org)

May 26, 2019-1T

520002



<b>Acme Township</b>			
<b>Planning &amp; Zoning Report No. 2019-12</b>			
Prepared:	June 4, 2019	Pages:	2
Meeting:	June 10, 2019	Attachments:	Yes
Subject:	Zoning Ordinance Amendment 051		

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**Application No.:** Zoning Ordinance Amendment 051

**Request:** Child Care Centers as an allowable use in the C: Corridor Commercial District

**Applicant:** Elizabeth Reid, McKinley & Cramer Properties LLC

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**I. OVERVIEW**

The Applicant's party operates a series of child care centers in the Grand Traverse region. They have been looking to expand their operations to include the east side of Traverse City, specifically Acme Township, and found a property that may fit their needs at 5700 US-31 N. The property is currently zoned C: Corridor Commercial which does not list it as an allowable use by right, or with a special use permit. In fact, the use is not listed at all in the US-31/M-72 Business District which includes the C: Corridor Commercial District. Child Care Centers are allowed through a special use permit as an institutional use in the Agricultural and Residential Districts. Other similar institutional uses are allowed in the C: Corridor Commercial by right including public parks, churches with and without assembly halls, and public and private schools.

A Zoning Administrator Determination (PZR 20169-05) was performed when the Applicant initially inquired about the use in the district and has been included for reference. It includes the definition used by the Zoning Ordinance for child care organizations, the reasons why it is not currently allowed, and the uses that are allowed in the district.

The Applicant has submitted a narrative indicating that their operation intends to care for approximately sixteen (16) infants thirty four (34) preschool aged students. The intensity of this use and the age of the children meets the definition of a child care organization and is much more commercial in nature than a family child care home which is allowed by right in the residential districts. A family child care home is defined by the Child Care Organization Act (MCL 722.111) as follows:

"Family child care home" means a private home in which 1 but fewer than 7 minor children are received for care and supervision for compensation for periods of less than 24 hours a day, unattended by a parent or legal guardian, except children related to an adult member of the household by blood, marriage, or adoption. Family child care home includes a home in which care is given to an unrelated minor child for more than 4 weeks during a calendar year. A family child care home does not include an individual providing babysitting services for another individual. As used in this subparagraph, "providing babysitting services" means caring for a child on behalf of the child's parent or guardian when the annual compensation for providing those services does not equal or exceed \$600.00 or an amount that would according to the internal revenue code of 1986 obligate the child's parent or guardian to provide a form 1099-MISC to the individual for compensation paid during the calendar year for those services.

The difference in intensity and the fact that they can occur in a private home is why family child care homes are allowed in residential districts.

The use requested in the text amendment is consistent with the district's intent and purpose, which states:

To provide for a traditional commercial district that promotes mixed use, walkability and transit options, and takes advantage of its location to East Bay.

*Acme Township Zoning Ordinance, Section 6.6.3, p. 35*

Including uses that people need as part of their day to day lives is a key component in creating the prescribed mixed use, walkable development pattern that supports public transit.

## **II. Findings of Fact**

- a) Child Care Organizations, although typically an institutional use, operate at an intensity that is similar to commercial uses.
- b) Numerous commercial uses are allowed by right and by special use permit in the C: Corridor Commercial District.
- c) Institutional uses are allowed by right in the C: Corridor Commercial District, including public and private schools, and churches. Often times these institutional uses operate at a similar if not greater intensity than most child care organizations.
- d) Child care organizations are consistent with the intent and purpose of the C: Corridor Commercial District.
- e) Many institutional uses including schools and churches offer care services for children younger than school age, which would qualify that part of their operation as a child care organization.

## **III. Considerations**

If the Planning Commission is supportive of adding the use to the C: Corridor Commercial District, it may want to consider whether it should be a use allowed by right or through a special use permit. It may be worth pointing out that there are a number of uses already allowed by right that have the potential to operate at a much greater intensity.

Additionally, if the Township Board adopts an amendment to add child care organizations to the list of allowable uses in the district upon the recommendation of the Planning Commission, the Applicant will still need to seek a site plan approval or special use permit approval. Adding the use to the list of allowed uses in the district does not guarantee an approval at this location, or any specific location. All applicable Zoning Ordinance standards will need to be met.

### *Suggested Motion for Consideration*

Motion to set a public hearing at the July 8, 2019 Planning Commission meeting to consider the adoption of Zoning Ordinance Amendment 051 to add "Child Care Organizations" as a use [allowed by right] [requiring a special use permit] to the C: Corridor Commercial District under Section 6.6.4.1 Regulated Uses.



<b>Acme Township</b>			
<b>Planning &amp; Zoning Report No. 2019-05</b>			
Prepared:	February 19, 2019	Pages:	6
Meeting:	n/a	Attachments:	No
Subject:	Zoning Administrator Determination – Preschools in the C: Corridor Commercial District		

**SUBJECT:** Preschools in the C: Corridor Commercial District

**ISSUE:** The Zoning Ordinance does not list preschools or child care centers as uses allowed by right or through a special use permit in the C: Corridor Commercial District. The Zoning Ordinance does, however, list public and private schools as a use allowed by right in the C: Corridor Commercial district. **Is a preschool an allowed use in the C: Corridor Commercial district?**

**RELEVANT ORDINANCE CITATIONS**

The following ordinances are cited from Acme Township Zoning Ordinance of 2008, as amended, unless specified otherwise.

**§3.2 DEFINITIONS**

**Child Care Center:** A facility for the care of children, as defined by MCL 722.111(1)(a).

**CHILD CARE ORGANIZATIONS Act 116 of 1973 (State of Michigan)**

**722.111 Definitions**

**Section 1.** As used in this act:

“Child care center” means a facility, other than a private residence, receiving 1 or more children under 13 years of age for care for periods of less than 24 hours a day, where the parents or guardians are not immediately available to the child. Child care center includes a facility that provides care for not less than 2 consecutive weeks, regardless of the number of hours of care per day. The facility is generally described as a child care center, day care center, day nursery, nursery school, parent cooperative preschool, play group, before- or after-school program, or drop-in center. Child care center does not include any of the following:

- (i) A Sunday school, a vacation bible school, or a religious instructional class that is conducted by a religious organization where children are attending for not more than 3 hours per day for an indefinite period or for not more than 8 hours per day for a period not to exceed 4 weeks during a 12-month period.
- (ii) A facility operated by a religious organization where children are in the religious organization’s care for not more than 3 hours while persons responsible for the children are attending religious services.

- (iii) A program that is primarily supervised, school-age-child-focused training in a specific subject, including, but not limited to, dancing, drama, music, or religion. This exclusion applies only to the time a child is involved in supervised, school-age-child-focused training.
- (iv) A program that is primarily an incident of group athletic or social activities for school-age children sponsored by or under the supervision of an organized club or hobby group, including, but not limited to, youth clubs, scouting, and school-age recreational or supplementary education programs. This exclusion applies only to the time the school-age child is engaged in the group athletic or social activities and if the school-age child can come and go at will.
- (v) A program that primarily provides therapeutic services to a child.

**Note:** *The Zoning Ordinance does not include a definition of school, public or private.*

**THE REVISED SCHOOL CODE Act 451 of 1976 (State of Michigan)**

**380.5 Definitions: L to R.**

**Section 5.**

(8) “Public School” means a public elementary or secondary educational entity or agency that is established under this act or under other law of this state, has as its primary mission the teaching and learning of academic and vocational-technical skills and knowledge, and is operated by a school district, intermediate school district, school of excellence corporation, public school academy corporation, strict discipline academy corporation, urban high school academy corporation, or by the department, the state board, or another public body. Public school also includes a laboratory school or other elementary or secondary school that is controlled and operated by a state public university described in section 4, 5, or 6 of article VIII of the state constitution of 1963.

**PRIVATE, DENOMINATIONAL, AND PAROCHIAL SCHOOLS Act 302 of 1921 (State of Michigan)**

**388.552 Private, denominational, or parochial schools; definition.**

**Section 2.**

A private, denominational or parochial school within the meaning of this act shall be any school other than a public school giving instruction to children below the age of 16 years, in the first 8 grades as provided for the public schools of the state, such school not being under the exclusive supervision and control of the officials having charge of the public schools of the state.

**§6.6.4.1 REGULATED USES**

Regulated uses are identified for each ZONE either as a Permitted Uses (P) or a use requiring a Special Use Permit (SUP). If a use is blank with no designation or not listed it means it is not permitted in that zone. All uses requiring a Special Use Permit must address the General Standards listed in Section 6.6.3.3. If the SUP has additional

standards over and above the General Standards the special provision column references that specific section of the Zoning Ordinance. All new projects, including those requiring a Special Use Permit (**SUP**), must adhere to the regulations of Section 6.6.5 Lot and Building Placement and Section 6.6.6 Special Provisions.

<b>Land Use Table</b>					
Type	SFN	MHN	CS	<b>C</b>	CF
<i>Residential</i>					
Single Family	P	P	P		
Single Family Condominium Subdivisions		P			
Live / Work Unit		P		P	P
Open Space Preservation Development		P			
Duplex	P	P	P		
Multiple Family		P	SUP	P	P
Home Occupation 1	P	P	P	P	P
Home Occupation 2 or More Persons	SUP (7.7)	SUP (7.7)	SUP (7.7)		
Bed and Breakfast (5 Bedroom Maximum)	SUP (9.24)	SUP (9.24)	SUP (9.24)		
<i>Residential - Services</i>					
Nursing Home	SUP	P			
Adult Day Care Center	SUP	SUP	SUP		
Assisted Living Group Facilities	SUP	P	SUP		
State Licensed Residential	SUP	SUP	SUP		
Group Child Care Home	SUP	SUP	SUP		
<i>Public and Private</i>					
Marinas (Public or Private)			SUP		
Outdoor Public Owned Parks and Recreation Facilities	P	P	P	P	P
Public and Private Schools	P	P	P	P	P
Public Uses: Critical, Supporting and Essential	P	P	P	P	P
Churches with and without Assembly Halls		P		P	P
<i>Transportation / Utilities</i>					
Parking (Public or Private)		P	P	P	P
Wireless Telecommunication Facilities		SUP		SUP	
Public Transit Stop or Station		P	P	P	P

Land Use Table					
Type	SFN	MHN	CS	C	CF
<i>Office</i>					
Professional Offices			P	P	P
Medical / Dental Offices				P	P
Medical Urgent Care Facilities				P	P
Veterinary Clinic			P	P	
<i>Commercial</i>					
Mixed Use with Residential above the 1st floor				P	P
General Retail; except with the following features				P	P
a. Alcoholic beverages				SUP	SUP
b. Floor area over 10,000 sq.ft.				SUP	SUP
c. On-site production of items sold in or out of store locations				SUP	SUP
d. Operating hours between 10pm and 7am				SUP	SUP
Restaurant, cafe, coffee shop, bar and taverns except with the following features				P	P
a. Drive-thru facilities				SUP	
b. Drive-In facilities				SUP	
c. Outdoor Service				SUP	SUP
Micro brewery, Small Distillery, and Small Winery				P	P
Movie & Performance Theaters				SUP	P
Convenience market less than 3,500 sq.ft				P	P
Personal Services				P	P
Farmers Market				P	P
Banks and Financial; except with the following features				P	P
a. Drive-thru facilities				SUP	
Shopping Centers				SUP (9.12)	SUP (9.12)
Grocery Stores; except with the following features				P	P
a. Floor area over 10,000 sq.ft				SUP	P
b. Gasoline Service Station				SUP (9.6)	
Gasoline Service Station				SUP (9.6)	
Automotive Supply & Parts				P	
Automotive Service				SUP	
<i>Lodging</i>					
Hotel; except with the following features				P	P
a. Greater than 120 rooms				SUP	P
b. Conference and convention facilities				SUP	SUP

## **§9.5 INSTITUTIONAL USES IN THE RESIDENTIAL AND AGRICULTURAL DISTRICTS:**

### **§9.5.1 Statement Of Intent:**

In recognition of many institutional uses that have been found to be reasonably compatible with residential uses, the Township may authorize the construction, maintenance and operation of certain institutional uses specified in this Section by the issuance of a special use permit.

### **§9.5.2 Requirements:**

The following land uses, in the Residential or A-1 Zoning District must meet the following additional requirements:

- a. Religious Institutions: Churches or similar places of worship, including child care centers, convents, parsonages, parish houses, and other housing for clergy.
- b. Educational and Social Institutions: Public and private schools, including child care centers, auditoriums and other places of assembly, and centers for social activities.
  1. Such uses shall be duly licensed by the Michigan Department of Human Services.
  2. Fencing of outdoor play areas may be required should it be determined that conditions exist in the immediate vicinity which could be hazardous to the user children or the public hearing on the application for a special use permit indicates objectionable trespass could occur onto neighboring properties by the user children.
  3. When allowed in Zone Districts other than R-1 and A-1, the minimum lot size shall be one acre.
  4. A special use permit for this purpose shall be good for the period of one year provided that the Zoning Administrator may renew the permit annually unless in receipt of written complaints regarding the land use in which event the applicant must repeat the original procedure for approval.

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## **REVIEW AND INTERPRETATION**

An interested party has expressed desire to locate a preschool in a unit located at 5700 US-31 N in a district zoned C: Corridor Commercial. The property is currently developed with the majority of 12,000 sf building occupied by Pro Fireworks. The preschool would occupy the smaller tenant space on the south side of the building. The issue to be determined is whether a preschool would be allowed at that location.

§6.6.4.1 lists the uses allowed in the districts encompassed by the US-31/M-72 Business District that includes the C: Corridor Commercial district. The section also expressly states that if a use is not listed it is not allowed in that/those district(s). A preschool is not a listed use, nor is a child care center which by definition includes a preschool per the Child Care Organization Act (P.A. 116 of 1973).

It has been interpreted by the property owner that a preschool is a commercial use and therefore should be allowed in a commercial district, and not a residential district. The Zoning Ordinance does not make that proclamation and in fact only allows uses specifically listed. Furthermore, the Zoning Ordinance does list

“Institutional Uses” as a use requiring a special use permit and subject to the requirements of §9.5 in following districts:

- R-1: One-Family Forest and Coastal
- R-2: One-Family Urban Residential
- R-3: Urban Residential
- A-1: Agricultural

Under 9.5.2(b) Educational and Social Institutions, the Zoning Ordinance lists child care centers in the definition, which as stated above includes preschools. So, although a preschool is not allowed in C: Corridor Commercial district, it is allowed in other districts in the Township with a special use permit.

§6.6.4.1 does list public and private schools as a use allowed by right in the C: Corridor Commercial district. An argument has been made that a preschool falls under this use and is therefore allowed. The Zoning Ordinance does not provide a definition of a school. However, the use preschool is clearly defined by the Zoning Ordinance under child care center through the Child Care Organization Act (P.A. 116 of 1973) and therefore removes the ambiguity of the use as a public or private school. The Zoning Ordinance does reference schools under §7.5.3 Parking Requirements where it delineates between elementary, junior high, and senior high schools, but not preschools.

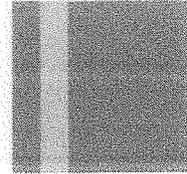
The State of Michigan further delineates between a preschool and private or public school through its licensing processes and applicable laws. Since preschools are defined as a child care center under the Child Care Organization Act (P.A. 116 of 1973) they are licensed under the Michigan Department of Licensing and Regulatory Affairs’ Bureau of Community and Health Systems. Whereas public schools have oversight provided by the Michigan Department of Education, and to a much lesser extent private schools due to recent changes in federal legislation related to private education and state Boards of Education. Additionally, a preschool does not meet the definition of a public school under Revised School Code Act (P.A. 451 of 1976) or a private school under the Private, Denominational, and Parochial Schools Act (P.A. 302 of 1921). The exception to this limitation is a preschool operating under an established preschool program within the Michigan Department of Education.

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## **CONCLUSION AND DETERMINATION**

The use preschool meets the definition of a child care center as provided in the Acme Township Zoning Ordinance of 2008, as amended. Neither the uses preschool or child care center are listed as a use by right or one requiring a special use permit in the C: Corridor Commercial district. Since §6.6.4.1 limits the uses allowed to those listed, a preschool is not allowed in the C: Corridor Commercial district. Moreover, a preschool does not satisfy the definition of private or public school as established by state legislation and therefore is not considered an allowable use in the C: Corridor Commercial district.

McKinley & Cramer Properties LLC  
3181 Zimmerman Rd, Traverse City  
231-409-5067 mckinleycramer@gmail.com



May 8, 2019

Acme Township Board  
6042 Acme Rd  
Williamsburg, MI 49690

Dear Acme Township Board,

We are writing to you to request a text amendment to the zoning ordinance to allow for the use of child care centers in the C: Corridor Commercial district to allow for the addition of a childcare center at 5700 US 31, Williamsburg MI 49690.

We have 16 years of child care experience and background between the two of us. Our hope is to bring a preschool and childcare to the Acme area, which is one of the areas most underserved with availability and options in all of Traverse City. We will be offering 16 infant positions which are desperately needed, especially for communities that want to attract more work force and better attract new businesses. Additionally we will be offering 34 preschool positions, this is also needed in the area. We feel this is an ideal location as it is already an easily accessible commercial area that is able to handle the type and amount of traffic we will be having as well as being able to handle the utility needs. As traffic is spread out over several hours of drop offs it should not tax the roadways or add congestion to the area.

We have already spoken with the State of MI Childcare licensing division, local fire departments, MDOT, State fire inspectors (QFI), playground inspectors and the environmental department before embarking on this request to make sure this location meets all requirements and criteria for each agency or department and properly meets all safety needs.



Please feel free to reach out to us if you have any additional questions. We look forward to working with Acme Township on this adventure.

Sincerely,

McKinley & Cramer Properties LLC





<b>Acme Township</b>			
<b>Planning &amp; Zoning Report No. 2019-09</b>			
Prepared:	June 3, 2019	Pages:	13
Meeting:	June 10, 2019	Attachments:	Yes
Subject:	SPR 2019-05 Redbud Roots Lab X Inc		

**Application No.:** SPR 2019-05

**Project:** Redbud Roots Lab X Inc – Medical Marihuana Provisioning Center  
6669 E M-72, Williamsburg, MI 49690

**Request:** Site Plan Review to modify and occupy an existing structure as a licensed medical marihuana provisioning center.

**Applicant:** Alexander M. Leonowicz, Redbud Roots Lab X Inc  
1243 W Ohio, Suite 1, Chicago, IL 60642

**Owner:** Property  
Alex M. Leonowicz – President, 6669 E M72 LLC  
215 Post Rd, Buchanan, MI 49107

Business Facility  
Chris Fanta – Owner, Redbud Roots Lab X Inc  
432 Otis Ave, Downers Grove, IL 60515

**I. OVERVIEW**

**General Description and Recommendation**

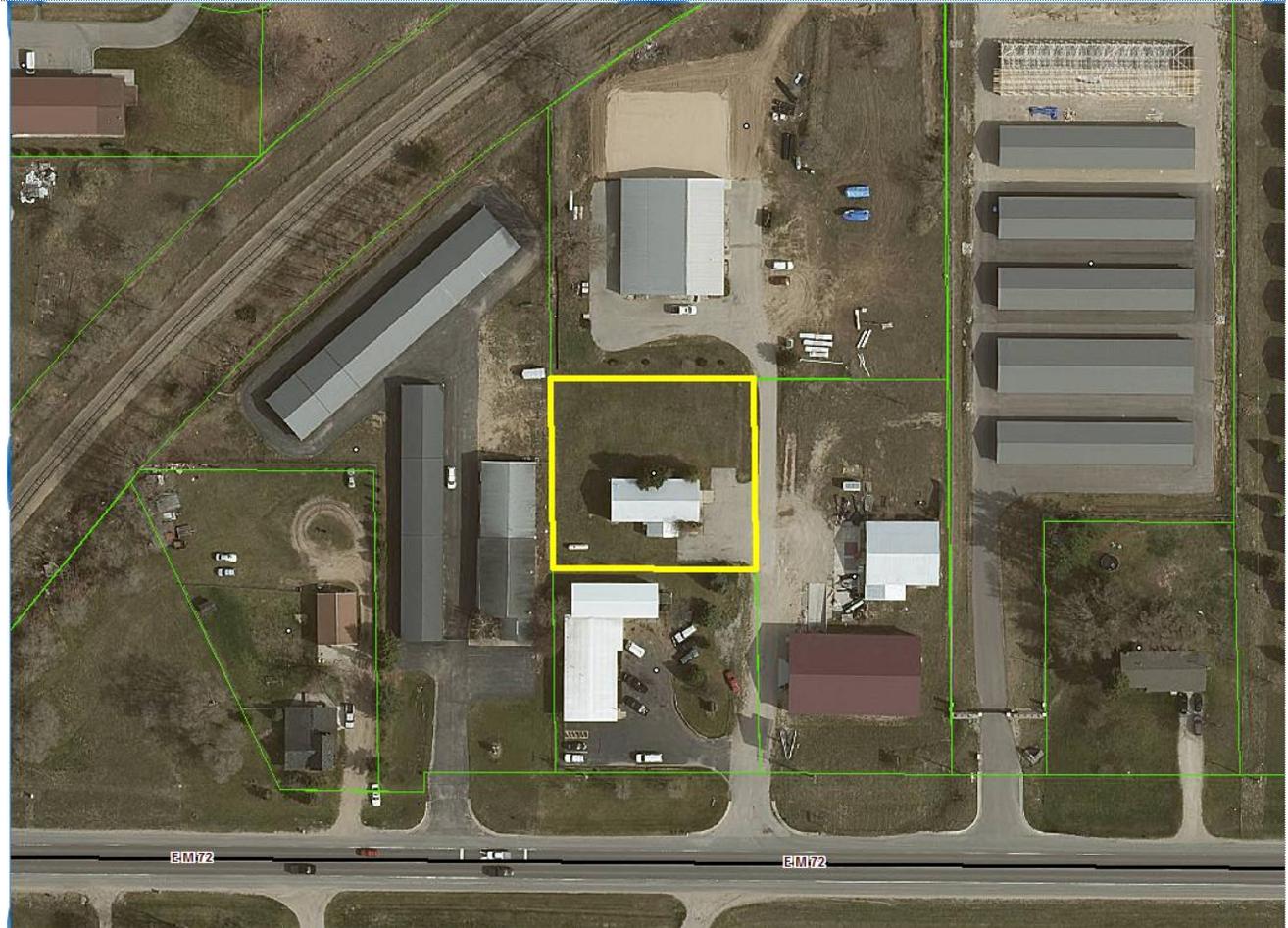
The Applicant is proposing to modify and occupy an existing 2,468 sq ft structure as a licensed medical marihuana provisioning center. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. The property is located off a private drive easement east of Bates Rd and on the north side of M-72, on the northside of Northwest Engine Exchange. The site is relatively flat and cleared, consisting primarily of turf.

The proposed use is consistent with the intent and purpose of the zoning district as well as the future land use category. Staff recommends approval of the site plan with consideration of the conditions mentioned in the suggested motion at the end of this report.

<b>Subject Property Location</b>	
Address	Parcel Number
6669 E M-72	28-01-014-034-30
<b>Legal Description</b>	

PART OF SW 1/4 OF SE 1/4 SEC 31 T28N R9WCOM AT A PT 794.88 FT E & 240.38 FT N OFS 1/4 COR TH N 150 FT TH E 160 FT TH S 150 FT TH W 160 FT TO POB.

Aerial Image



**Existing Conditions of Subject Property**

Zoning	Existing Uses
B-4: Material Processing & Warehousing	Unoccupied pole barn structure.
Area	Existing Permits / Prior Approvals
Approx. 0.55 acres	n/a

**Adjacent Zoning and Land Uses**

Location	Zoning	Land Use
North:	B-4	Industrial (manufacturing), Flannery Machine & Tool Inc
East:	B-4	Industrial (wholesale), Environmental Protection Products Ltd
South:	A-1	Industrial (manufacturing), Northwest Engine Exchange
West:	B-4	Industrial (storage), AAA Self Storage

**Relationship to Master Plan**

Future Land Use Category – Industrial

The Industrial category encompasses land use for light industrial, trade related business and warehousing enterprises in the Township. The existing uses currently are located along state highway M72 and Bates Road (an area comprising some existing development of higher density industrial and business uses). This region is

seen as appropriate for the location of any future light industrial facilities that should develop with good management of signage, landscaping, utility lines, and related facilities and other possible features such as towers for cellular communication. While special areas in the Township are designated for large-scale light industrial facilities, it is compatible with the Acme Master Plan to also encourage the development of home occupations and concomitant cottage industries in or out of this area.

The main objectives of the Industrial land use category are to provide for non-intrusive industrial operations in high density areas that stimulate the economic vitality of the Township without negatively impacting the surrounding area, and to provide employment opportunities for residents of the Township and surrounding region. Sound access management planning should be included in any new industrial developments.

The intended uses in this category include, but are not limited to: enclosed wholesale facilities, warehouses, high technology industries, light manufacturing, telecommunications industry, and other non-intrusive industrial enterprises. Land uses in the Industrial area should comport with the policies and actions of the Master Plan.

*(p. 72, Acme Township Community Master Plan, adopted August 11, 2014)*

## II. SUBMITTED APPLICATION MATERIALS

The tables below present the items submitted with the application for the proposed project. These items have been reviewed in accordance with the processes set forth in the Zoning Ordinance

<b>Drawings</b>		
Sheet	Title	Date (revised)
T1	Coversheet	03.30.19 (04.29.19)
SP.1	Existing Conditions Plan	03.15.19
S1	Drainage Plan	04.24.19
L1	Landscape Plan	03.30.19 (04.29.19)
FD1	Existing Floor Plan	03.30.19
FD2	Existing Elevations	03.30.19
A1	Site Plan	03.30.19
A2	Floor Plan	03.30.19
A4	Exterior Elevations (north & south)	03.30.19
A5	Exterior Elevations (east & west)	03.30.19
L201	Photometric Light Plan	03.27.19

<b>Agency Reviews</b>		
Agency	Status	Permit No. (Date)
Grand Traverse County Environmental Health Department	Well and sanitary septic status review	n/a – adequate existing system
Grand Traverse County Environmental Health Department	Sedimentation and Soil Erosion Control	n/a – permit waiver submitted
Grand Traverse Metro Fire Department	Satisfactory review	P-0171-M6662 (05.22.19)
Gosling-Czubak Storm Water Plan Review	Pending	

<b>Additional Documentation</b>
Submitted With Application Packet

- Site Plan Review Application Form
- Project Narrative
- Escrow Policy Acknowledgement Form
- Owner Authorization
- Purchase Agreement
- Complete set of construction documents (not relevant to site plan review and not included in review packet)

### III. ZONING ORDINANCE REVIEW

Listed below are the applicable sections of the Zoning Ordinance that pertain to the proposed project. Items that do not satisfy the standards required by the Zoning Ordinance have been indicated with **bold, red text**.

Zoning District	
§ 6.11	B-4: Material Processing & Warehousing District
§ 6.11.1	<p><b>Intent and Purpose</b></p> <p>This district is intended to accommodate those industrial uses, warehousing and storage, and related activities that generate a minimum of noise, glare, odors, dust, vibration, air and water pollution, fire and safety hazards, or any other potentially harmful or nuisance characteristics. It is designed to accommodate wholesale, warehouse, agricultural sales and service related businesses and light industrial activities whose operational and physical characteristics do not detrimentally affect any of the surrounding district.</p> <p><b>Uses Permitted By Right</b></p> <p><b>i. Medical Marihuana Facilities</b></p> <p>iv. Medical Marihuana Provisioning Center. By right, but that no more than three (3) may be licensed and operating at a given time, and no more than three (3) licenses may be issued.</p> <p><i>Note: The proposed use meets the intent and purpose of the district and is use allowed by right. Redbud Roots Lab X Inc currently holds provisioning center licenses in the B-4 District.</i></p>
§ 6.11.2	

§ 6.13.1 Schedule Limiting Height, Bulk, Density and Area by Zoning District		
Standard	Requirement	Site Plan
Minimum Lot Size	n/a	Approx. 0.55 acres
Minimum Parcel Width	150 ft	150 ft
Maximum Height	3 stories / 40 ft	1 story / 17.65 ft
Front Setback	40 ft	42 ft
Side Setback	15 ft	80 ft (north); 20 ft (south)
Rear Setback	16 ft	23 ft
Maximum Lot Coverage	n/a	6,053 sf

§ 7.1.1 Sanitation Requirements		
Standard	Requirement	Site Plan
Meet GT County Environmental Health	Adequate system approved by Grand Traverse County	Existing Type III well and 1,250 Dbl septic system reviewed and deemed adequate by agency

Department Ordinance [§7.1.1(a)]	Department of Environmental Health	
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<b>§ 7.4 Signs</b>		
Standard	Requirement	Site Plan
Regulations By Zone – Agricultural District [§7.4.6(d)]	Various – will be reviewed separately. Site plan review approval does not authorize any proposed signage.	Elevations show two (2) wall signs on the south & east façades. There is also a proposed stature and flag sign to be discussed by the Planning Commission. Sign standards will be reviewed upon receipt of a sign permit application.

<b>§ 7.5 Off-Street Parking and Loading Regulations</b>		
Standard	Requirement	Site Plan
Parking Required [§7.5.1(b)]	On the same lot or within 300 ft	Parking provided on site
Parking Space Requirements [§7.5.3(c)(14)]	Min. – 3 spaces Max. – 13 spaces	8 total spaces – 7 regular spaces; 1 ADA space
Off-Street Parking Location [§7.5.4(a)]	Located in rear and/or side yard	Existing parking located in the front, new parking located in the side yard
Maneuvering Lane & Space Dimensions [§7.5.4(b)(1)]	Lane Width (min.) – 20 ft Space Width (min.) – 9 ft Space Length (min.) – 20 ft	<b>Lane Width – 12 ft</b> Space Width – 9 ft <b>Space Length – 18 ft</b>
Parking Access Means [§7.5.4(b)(2)]	Maneuvering lanes, no backing up onto streets	Access provided through maneuvering lanes
Driveways [§7.5.4(b)(3)]	Clearly defined driveways that do not cross residentially zoned land	Existing driveway does not cross other zoning districts
Driveway Spacing [§7.5.4(b)(4)]	25 ft from parcel zoned for single-family	Surrounding properties zoned B-4,
Surface Material [§7.5.4(b)(5)]	Seal coat, blacktop or equivalent; durable, dustless surface	Asphalt parking lot surface existing and proposed
Lighting [§7.5.4(b)(6)]	Adequate parking lot lighting during operation, down- and shield-lighting	<b>Location of parking lot lights not clearly defined</b>
Buffering, Landscaping & Screening – buffering strip [§7.5.4(c)(1)]	Parking lots screened by planting strips on all sides visible by neighboring properties	<b>New parking lot on the north side of building does not include any screening for the property to the north.</b>

§ 7.5 Off-Street Parking and Loading Regulations		
Standard	Requirement	Site Plan
Buffering, Landscaping & Screening - plantings [§7.5.4(c)(2)]	<ul style="list-style-type: none"> <li>a. 10' buffer along ROW</li> <li>b. 1 evergreen/canopy trees along parking ROW</li> <li>c. 36" high continuous hedge/berm/wall screen</li> <li>d. 6' high screened refuse receptacle</li> </ul>	<ul style="list-style-type: none"> <li>a. 10' outside existing driveway apron</li> <li>b. 2 deciduous trees</li> <li>c. Condition met per landscape plan</li> <li>d. <b>5' high screened refuse receptacle</b></li> </ul>
Buffering, Landscaping & Screening – tree islands, snow storage [§7.5.4(c)(3)]	<ul style="list-style-type: none"> <li>a. 1 canopy tree in island per 10 spaces distributed evenly in middle of row</li> <li>b. 2 Canopy trees in islands at end of each row</li> <li>c. n/a</li> <li>d. Designated snow storage</li> </ul>	<ul style="list-style-type: none"> <li>a. Not required – only eight spaces</li> <li>b. <b>West treed island on new lot needs additional tree</b></li> <li>c. n/a</li> <li>d. <b>Dedicated snow storage not indicated</b></li> </ul>
Loading Zone [§7.5.5(a)]	10 ft x 55 ft loading zone; 14' vertical clearance	10' x 55' loading zone identified; all loading/unloading will occur inside the building. Adequate approach provided. 10' overhead door.
Loading Approach Surface [§7.5.5(b)]	Asphaltic or cement binder	Concrete and asphalt surfaces
Loading Access [§7.5.5(c)]	Direct access off public street	Accessed off shared easement from M-72
Loading Location [§7.5.5(d)]	Located in rear yard only; side yard with PC approval	Located in side yard. Recommend approval since loading/unloading will occur inside the building
Loading Interference [§7.5.5(e)]	Shall not interfere with parking spaces	<b>Does interfere with two parking spaces, however will occur indoors</b>
Loading Screening [§7.5.5(f)]	Screened from public ROW, adjacent office or residential districts	Satisfied per landscape plan, all adjacent property zoned B-4

§ 7.5.6 Landscaping		
Standard	Requirement	Site Plan
Application [§7.5.6(b)(1-6)]	Landscape plan requirements	All required information provided
Standards & Criteria [§7.5.6(c)]	Planting standards	<b>Size specifications not provided</b>
Planting Materials [§7.5.6(d)]	Non-invasive, native species	<b>Plant species not specified for cross-referencing with ISN document</b>
Buffers [§7.5.6(e)]	Not required, all abutting properties zoned B-4	n/a

§ 7.5.6 Landscaping		
Standard	Requirement	Site Plan
ROW Landscaping [§7.5.6(f)]	<ol style="list-style-type: none"> <li>10' buffer along ROW</li> <li>6 trees and 31 shrubs per 150 lineal ft adjacent to ROW; grouping encouraged but space between trees not to exceed 35 ft</li> <li>3' tall continuous landscape screen, opaque fence, berm, or combination along ROW</li> </ol>	<ol style="list-style-type: none"> <li>10' buffer along ROW, except at existing driveway approach</li> <li>6 trees approx. 16' apart, <b>and 10 shrubs.</b></li> <li><b>Additional shrubs will be needed to achieve screening</b></li> </ol>
Completion Bond [§7.5.6(j)]	Completion bond, letter of credit, cash deposit, or certified check in the amount of the landscape improvements	<b>No estimates provided</b>

§ 7.8 Exterior Lighting Requirements		
Standard	Requirement	Site Plan
[§7.8.3(a)(1)]	Downlighting, cut-off shielding, efficiency, minimum amount necessary, lighting hours	<b>Wall pack lighting indicated on elevations, but not site plan; photometric does not provide detail on luminaire type; plan detail provided for bollard lighting, but no locations indicated; parking lot lights not clearly indicated regarding existing and proposed.</b>

§ 7.11 Medical Marihuana Facilities		
Standard	Requirement	Site Plan
License Requirements [§7.11.2(a)]	Facility must have a valid license by Acme Twp and the State	Applicant has two growing licenses issued by Acme Twp. <b>Will not be able to operate until securing a license from the State</b>
Distance Buffers [§7.11.2(b)(1-4)]	1,000 ft buffer between specific uses	Not within 1,000 ft of any listed uses

#### IV. SITE PLAN REVIEW

The table below presents the required elements for a site plan review per the Zoning Ordinance, whether included in the site plan drawing, written narrative, or both. A “Yes” indicates item was accounted for, “No” indicates missing item, a blank cell indicates it is not required to be demonstrated in the site plan or narrative.

§ 8.1.4 Application Requirements			
Item	Description	Shown On Site Plan	Written Documentation
1.	A description of the environmental characteristics of the site prior to development, i.e.: topography, soils, vegetative cover, drainage, streams, creeks or ponds, as well as, the delineation of these features on the site plan drawing.	Yes	Yes
2.	Types of uses and other man-made facilities		Yes
3.	The number of: people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic		Yes
4.	Phasing of the project, including ultimate development proposals	Yes	Yes
5.	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water.	Yes	
6.	The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.		Yes
7.	The method to be used to serve the development with water and sanitary sewer facilities		Yes
8.	The location, size, and routing of water and sanitary sewer facilities	Yes	
9.	Plans for storm water control and drainage, including measures to be used during construction	Yes	
10.	Storm water calculations; and if requested storm water modeling data.	Yes	Yes
11.	If public sewers are not available to the site the applicant shall submit a current approval from the health department or other responsible public agency indicating approval of plans for sewage treatment.		Yes
12.	The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.		Yes
13.	An indication of how the proposed use conforms to existing and potential development patterns and any adverse effects		Yes
14.	Location of known Air Sheds and how the proposed use impacts this natural feature.		Yes
15.	Plans to control soil erosion and sedimentation.	Yes	Yes
16.	Incorporation of low impact development storm water technologies and other best management practices such as, but not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered storm water structures.	Yes	Yes
17.	Type, direction, and intensity of outside lighting shown on a photometric plan in compliance with exterior lighting standards.	No	No
18.	Location of any or required cross access management easements.	Yes	

§ 8.1.4 Application Requirements			
Item	Description	Shown On Site Plan	Written Documentation
19.	Location of pedestrian and non-motorized facilities; if required.	Yes	
20.	Landscaping plan	Yes	
21.	General description of deed restrictions and/or cross access management easements, if any or required.		Yes
22.	Name(s) and address(es) of person(s) responsible for preparation of site plan drawings and supporting documentation.	Yes	Yes
23.	Sealed drawings from a licensed architect, engineer, or landscape architect.	Yes	
<b>Notes:</b> Photometric plan will be required to address the external lighting issues identified in this report.			

§ 8.2 Standards for Site Plan Review	
Standard	Finding
a. That the applicant may legally apply for site plan review.	<b>Satisfied:</b> The Applicant is president of the LLC that owns the property
b. That all required information has been provided.	<b>Satisfied:</b> Per listed Agency Reviews in this report.
c. That the proposed development conforms to all regulations of the zoning district in which it is located and all other applicable standards and requirements of this ordinance, including but not limited to all supplementary regulations.	<b>Not Satisfied:</b> See items identified in Section III Zoning Ordinance Review above.
d. That the plan meets the requirements of Acme Township for fire and police protection, water supply, sewage disposal or treatment, storm, drainage, and other public facilities and services.	<b>Satisfied:</b> Gosling Czubak – Pending GT Metro Fire – Favorable Soil Erosion – No permit required Health Department – Favorable
e. That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.	<b>Satisfied:</b> Gosling Czubak – Pending GT Metro Fire – Favorable Soil Erosion – No permit required Health Department – Favorable
f. That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.	<b>Satisfied:</b> The site does not indicate sensitive natural features and is already developed; areas of disturbance have been indicated.
g. That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property.	<b>Satisfied:</b> – No floodplains present
h. That the soil conditions are suitable for excavation and site preparation, and that organic, wet, or other soils which are not suitable for development will either be undisturbed or modified in an acceptable manner.	<b>Satisfied:</b> Third-party review by Gosling Czubak did not find the site to be unfavorable to development.
i. That the proposed development will not cause soil erosion or sedimentation problems.	<b>Satisfied:</b> No SESC permit required

§ 8.2 Standards for Site Plan Review	
Standard	Finding
j. That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff and will not cause undue runoff onto neighboring property or overloading of water courses in the area.	<b>Satisfied:</b> Gosling Czubak has submitted a summary of their review finding the proposed storm water management system compliant with the ordinance and appropriate for this development.
k. That grading or filling will not destroy the character of the property or the surrounding area and will not adversely affect the adjacent or neighboring properties.	<b>Satisfied:</b> Necessary grading and infill will be limited to the parking lot expansion and retention basin, seeded with appropriate slopes.
l. That structures, landscaping, landfills or other land uses will not disrupt air drainage systems necessary for agricultural uses.	<b>Satisfied:</b> The addition to the existing structure will have no detrimental impact on any existing airsheds.
m. That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage, or erosion control.	<b>Satisfied:</b> – Project is a single phase
n. That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems, and water and sewage facilities.	<b>Satisfied:</b> Existing approach of gravel easement established, existing sanitary system and well are adequate
o. That landscaping, fences or walls may be required when appropriate to meet the objectives of this Ordinance.	<b>Not Satisfied:</b> Landscape plan needs to be updated as referenced in this report.
p. That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.	<b>Not Satisfied:</b> Parking space dimensions will need to be adjusted as discussed in the report below
q. That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.	<b>Not Satisfied:</b> Parking and vehicular circulation is adequate. There is no pedestrian connection between the new parking lot and the entrance without creating conflict in the maneuvering lanes.
r. That outdoor storage of garbage and refuse is contained, screened from view, and located so as not be a nuisance to the subject property or neighboring properties.	<b>Not Satisfied:</b> Dumpster is to be enclosed but will need to be raised to at least 6 feet.
s. That the proposed site is in accord with the spirit and purpose of this Ordinance, and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.	<b>Satisfied:</b> The proposed use and overall plan is consistent with this Ordinance and planning documents with the exceptions included in this report that need to be addressed.

## V. REPORT SUMMARY

The Applicant is proposing to modify and occupy an approximately 2,468 vacant structure in the B-4 Material Processing and Warehousing District as a licensed medical marihuana provisioning center. The use is allowed by right in the district and is consistent with the district's intent and purpose and the Industrial future land use

category in the master plan. The site has no significant natural features, is relatively flat, primarily grass, and currently developed.

This proposal is different from the Nature's ReLeaf and GR Hydro TC project in that although the Applicant is proposing to occupy an existing structure, site improvements will be made that require bringing the non-compliant zoning ordinance standards up to code. The two previous examples did not include site improvements and were therefore not made to meet the same requirements. Overall, the proposed use and modifications are substantially in accordance with the zoning ordinance and master plan, less the items called out above that can easily be addressed by updating the site plans and having the zoning administrator review them for compliance with the applicable standards. Specifics regarding the outstanding standards are detailed below.

### **Storm Water Review**

Gosling Czubak was contacted regarding the storm water review. The engineer of record indicated that it was satisfying the standards of the ordinance, however, he was awaiting a response from the Applicant's engineer on how the water from the parking lot will reach the sediment forebay of the retention basin. Once clarified the review memo will be completed and submitted to the Township. The best measure to ensure the storm water runoff from the new parking lot reaches the forebay is to require a four-inch raised asphalt curb along the parking lot.

### **Parking**

The parking lot spaces and maneuvering lanes do not meet the dimensional standards of the zoning ordinance. The new parking lot will need to be expanded and adjusted to increase the maneuvering lane from twelve (12) to twenty (20) feet in width. The parking spaces will need to have their length increased from eighteen (18) feet to twenty (20) feet, and the treed islands expanded to run the new full length of the parking stalls. There is no direct pedestrian access from the new parking lot to the facility's entrance without walking through the landscaping or around the treed island via the maneuvering lane. This creates a potential conflict between the pedestrians and vehicles coming around the curve. It is recommended the site plan approval include a four (4) foot wide sidewalk adjacent to the new parking lot between the building and lot and wrap around to the paved front entrance approach.

The loading area is required to be in the rear yard, but the Planning Commission may approve a side yard location. The site plan shows a loading/unloading zone in the side yard, that technically interferes with at least two parking spaces. However, since all loading and unloading will be required to occur indoors, the loading/unloading location is not necessarily applicable.

The parking lot lights are not clearly located or detailed. It is recommended a minimum of three (3) light poles be located adjacent to the parking lot in the southeast, northeast, and northwest corners. The height of the light poles measured to the top of the luminaire should not exceed 21 feet 3 inches.

A location dedicated to snow storage will need to be identified on the site plan.

The height of the dumpster enclosure will need to be increased from five (5) feet to six (6) feet.

With the addition of more impervious surface, Gosling Czubak should perform a second review to ensure the retention basin is sized to meet the additional storm water runoff.

### **Lighting**

The photometric plan that was submitted does not include the details for the luminaire types. Without the details, compliance with downward facing, cut-off shielding cannot be confirmed. It is not clear on the locations of existing lights, if any. If the (E) indicates an existing light, then one of them is in the center of the existing

parking lot, interfering with at least one parking space. The elevations indicate what may be wall pack lighting in various locations, which should be limited to points of ingress and egress outside the main entrance for security purposes. Decorative, downward facing exterior lighting is encouraged above the entrance. There is a detail showing a bollard-style light, but no locations identified. Additional lighting concerns related to parking lot lights have been addressed above. A revised plan with all details should be submitted.

### **Landscaping**

The landscaping plan will need to be updated to include the species (common and scientific name) of each planting to ensure it is an approved planting from the Northwest Michigan Invasive Species Network's *Recommended Planting Guidelines for Municipalities: Native Plant Recommendations* (pp. 3-7). The plan will also need to include the caliper and/or height of the selected plantings to demonstrate compliance with the zoning ordinance.

Twenty one (21) additional shrubs will need to be included, placed along the right-of-way buffer to form a continuous screen.

A second canopy tree will need to be added to the western treed island.

The zoning ordinance states that off-street parking areas be landscaped on all sides that are visible by surrounding properties, however, it does not indicate the specific standards to which it should be landscaped. It is recommended that the north property line be landscaped between the retention basin and property line with five (5) canopy or conifer trees, spaced 24 – 35 feet apart. This is consistent with the requirements elsewhere in the ordinance. Similarly, it is recommended that the west side of the parking lot and loading/unloading zone include at least one (1) canopy or conifer tree between the west property line and retention basin.

A landscape bond will be required in the amount equal to materials and labor, with the estimate prepared by a professional landscaper.

### **Signage**

Site plan approval or a land use permit does not include approval of any signage as indicated in the site plan review. A separate sign permit application will need to be submitted, reviewed and approved prior to the erection and installation of any signage. The site plan does include an element the Planning Commission may want to consider. Sheet A1 includes a detail for a three-dimensional, eight (8) foot high red space person watering what appears to be a marijuana plant. Adjacent to the space person is a nine (9) foot high flagpole with the text #Redbud Roots. This raises the question whether this is a sign or not. The flag is pretty clear if in fact it is a flag. The zoning ordinance under Section 7.4.6(c)(11) allows corporate or institutional flags up to thirty five (35) square feet. However, it looks like it may be of solid construction designed to look like a flag in which case it should be considered a freestanding sign. The three-dimensional space person is another issue altogether. On one hand, if it is to be considered a sign, the zoning ordinance does not have listed standards for three-dimensional signs. Traditionally, if a use is not listed, then it is not allowed. There have been instances in the past where the Planning Commission has debated items displayed as either landscaping/art or signage. Most recently was the horse statue displayed at the former Spirit of the West. An ongoing example is Woodland Creek. Whether or not the three-dimensional space person and accompanying flag are to be considered signs is something the counsel and the zoning administrator may want to review and form a determination before issuing a sign permit.

Although it appears there are lot of issues outstanding in this review, they are easily addressable and overall the project is consistent with the master plan and meets the majority of applicable zoning ordinance standards. Therefore, it is suggested that the site plan be approved with the conditions presented below.

Suggested Motion for Consideration:

Motion to approve Site Plan Review application SPR 2019-05, submitted by Alexander M. Leonowicz, Redbud Roots Lab X Inc, to modify and occupy an approximately 2,468 square foot licensed medical marijuana provisioning center located at 6669 E M-72, Williamsburg, MI 49690, with the following conditions that must be met prior to issuing a land use permit:

1. The site plan be updated to
  - a. Remove the existing aerial imagery in the background;
  - b. Lengthen all parking stalls to twenty (20) feet;
  - c. Lengthen the treed islands to match the length of the parking stalls;
  - d. Expand maneuvering lanes to a width of twenty (20) feet;
  - e. Include a four (4) inch raised asphalt curb around the new parking lot and maneuvering lanes;
  - f. Include a four (4) foot wide sidewalk on the south side and adjacent to the new parking lot that connects directly with the paved front entrance;
  - g. Identify a dedicated snow storage area;
  - h. Locate a minimum of three (3) parking lot light poles in the southeast, northeast and northwest corners of the parking lots. The height of the poles, measured to the top of the luminaire, shall not exceed twenty one (21) feet, three (3) inches;
  - i. Raise the height of the dumpster enclosure to six (6) feet.
2. The landscape plan be updated to
  - a. Provide a list of species by common name and scientific name that match those allowable by the zoning ordinance under the Northwest Michigan Invasive Species Network's *Recommended Planting Guidelines for Municipalities: Native Plant Recommendations*;
  - b. Include the caliper and/or height of each species;
  - c. Add an additional canopy tree to the west treed island in the new parking lot;
  - d. Add twenty one (21) shrubs along the right of way to create a continuous screen in the landscape buffer zone;
  - e. Include five (5) canopy or conifer trees be planted along the north property line between the property line and retention basin, spaced between twenty four (24) – thirty five (35) feet apart within the east/west extent of the new parking area;
  - f. Include one (1) canopy or conifer tree be planted on the west side of the new parking lot;
  - g. Submit a bond, letter of credit, cash surety or certified check in the amount equal to the material and labor to install the plantings on the landscape plan, prepared by a professional landscaper.
3. A revised photometric plan be submitted that
  - a. Shows the location and detail type of all light fixtures utilizing cutoff shielding and downward facing fixtures;
  - b. Limits wall pack fixtures to points of ingress and egress, excluding main front entry way where they shall be prohibited.
4. Receive a favorable storm water management plan review by the Township's engineer of record after all required improvements have been included;
5. Submit a set of revised plans in electronic pdf format and a set of full-size prints sealed by a licensed engineer, architect or landscape architect and signed by the Applicant and Planning Commission Chair.



### Special Use Permit/Site Plan Review Application

Township of Acme, Grand Traverse County, Michigan

6042 Acme Road, Williamsburg, MI 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

Planning & Zoning Administrator: Shawn Winter Email: [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

**Owner Information** (please type or print clearly):

Name: 6669 E-M72, LLC Phone: (248) 880-9436

Mailing Address: 215 Post Rd

City: Buchanan State: MI Zip: 49107

Email Address: Leonowicza@gmail.com

**Applicant Information** (please type or print clearly):

Name: Redbud Roots Lab X, Inc. Phone: 269-999-1090

Mailing Address: 215 Post Rd.

City: Buchanan State: MI Zip: 49107

Email Address: dave@redbudroots.com

**A. Property Information:**

1. **Address:** 6669 E. M72  
Williamsburg, MI 49690

2. **Parcel Number/Property Description:**  
01-014-034-30

3. **Current Zoning of Property:**  
B-4

4. If this project is one phase of a larger development and/or property subject to an **existing/previous Site Plan Review, Special Use Permit, or Variance, what is/are the applicable permit number(s)?** n/a

5. **Provide proof of current property ownership.** If applicant is not the current property owner, also provide written permission to act as agent of, and complete contact information for the current property owner. See attached.

**6. Proposed Use/Change to Property**

Medical Marijuana Provisioning Center

**7. Estimated Start and Completion Dates:**

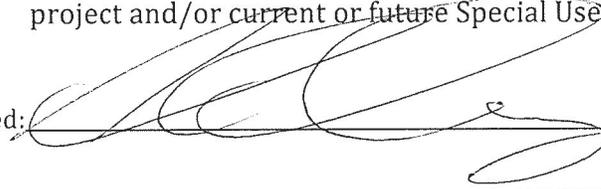
April 1, 2019 - June 1, 2019

**B. Application Packet Requirements: REFER TO ACME TOWNSHIP ZONING ORDINANCE AND COMPLETE ATTACHED CHECKLIST**

**C. Fees:** Include initial fee as required by the Acme Township Ordinance #2004-01

**D. Fee Escrow Policy Acknowledgement:** Provide completed and signed form with initial escrow fee deposit.

**E. Affidavit:** The undersigned affirms that he/she is the Owner (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future Special Use Permit and Zoning Ordinance compliance.

Signed:  Date: April 8, 2019

**FOR TOWNSHIP USE ONLY**

Application Number: \_\_\_\_\_

Date Received: \_\_\_\_\_

Public Hearing/Meeting: \_\_\_\_\_

Date of Advertising: \_\_\_\_\_

T&A Account: \_\_\_\_\_

**NOTES:**

**PROPERTY OWNER'S AUTHORIZATION**

I, Alexander M. Leonowicz, being first duly sworn, depose and state that I am over the age of 18, and hereby provide as follows:

1. I am Alex Leonowicz and am over the age 18.
2. I am the President of 6669 E. M72, LLC - a Michigan limited liability company that holds title to the property located at 6669 E. M72 in Williamsburg, MI 49690 (hereinafter the "Premises").
3. My contact information is as follows:  
  
Name: Alexander M. Leonowicz  
Address: 215 Post Rd.  
Buchanan, MI 49107  
  
Email: Leonowicza@gmail.com  
  
Telephone Number: (248) 880-9436
4. I understand that Redbud Roots Lab X, Inc. (the "Company") will be utilizing the Premises as a medical marijuana provisioning center. The Company has my permission to act as my agent for purposes of the special use permit for which they seek.

FURTHER AFFIANT SAITH NOT

  
Alexander M. Leonowicz

Signed and sworn before me this 22<sup>nd</sup> day  
of April 2019

  
Notary Public

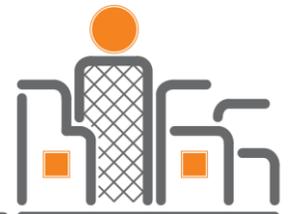




## PROJECT NARRATIVE

Below is a project narrative based on the Zoning Ordinance Items.

1. Description of environmental Characteristics of site prior to development.
  - a. Response: (REFER TO T1 PHOTO/KEY MAP/SP.1) Site has been developed and is about 80% planted grass area with approximately 10% trees and shrubs. An asphalt parking lot taking approximately 10% of the site. Site is flat and accessed by a gravel drive. There are no streams, creeks, or ponds on the site. Water naturally drains from rear property to front property.
2. Types of uses and other man-made facilities
  - a. Response: (1) vacated existing building is on-site. An existing asphalt parking lot is on-site. Utilities are available.
3. Number of People houses, employed, visitors, vehicular traffic, pedestrian traffic
  - a. Response: Vehicular traffic is minimal up a gravel drive off M-72. The road has shared access with other industrial businesses. Access to site is limited to employee access and clientele access. Clientele may only access facility as permitted by Michigan Law. The facility limits the number of occupants within the Facility to 15 people maximum at any given time. Clientele must check in and may wait as sales area is limited to available consultants. Employees have 'secure' limited access via employee key cards. No pedestrian access is anticipated. No general public access is permitted. Vehicle deliveries from small trucks or vans is anticipated and must fit inside delivery doors for loading/unloading. No overnight housing is provided nor permitted.
4. Phasing of Project
  - a. Response: (REFER TO A1) Project is to be completed in (1)Phase. The site is too small to sustain major additions/expansions. Any future additions would require future approvals.
5. Natural Features retained, removed, modified
  - a. Response: (REFER TO A1/S1) Over grown trees may be trimmed or cut for maintenance needs. Existing grass area will need to be removed to install Storm water retention pond. Any vegetation and features outside of Scope of work will remain.
6. Description of areas to be changed including affect on site
  - a. Response: (REFER TO A1/S1/L1). Existing grass area to be dug out for Storm water retention system. Additional sculpting of the existing asphalt parking will be required to install additional Landscaping.
7. Method to serve development with water and sanitary sewers
  - a. Response: (REFER TO SP.1/A1) Existing well is to be re-used for water supply. Existing Sanitary System will be re-used.
8. Location, size, and routing of water and sanitary sewers.
  - a. Response: Existing Water and Sanitary shall be re-used. No proposed changes at this time. (if changes arise during site construction, we will contact authorities)
9. Plans for Storm water control and drainage
  - a. Response: (REFER TO S1). Storm water will be filtered and routed to a retention pond
10. Storm water calculations
  - a. Response: (REFER TO S1) Calculations are provided.
11. If public sewers not available, submit Health Department approval.
  - a. Response: No changes are proposed. Health Department was contacted. If changes occur to Water/Sewer they must be contacted again.

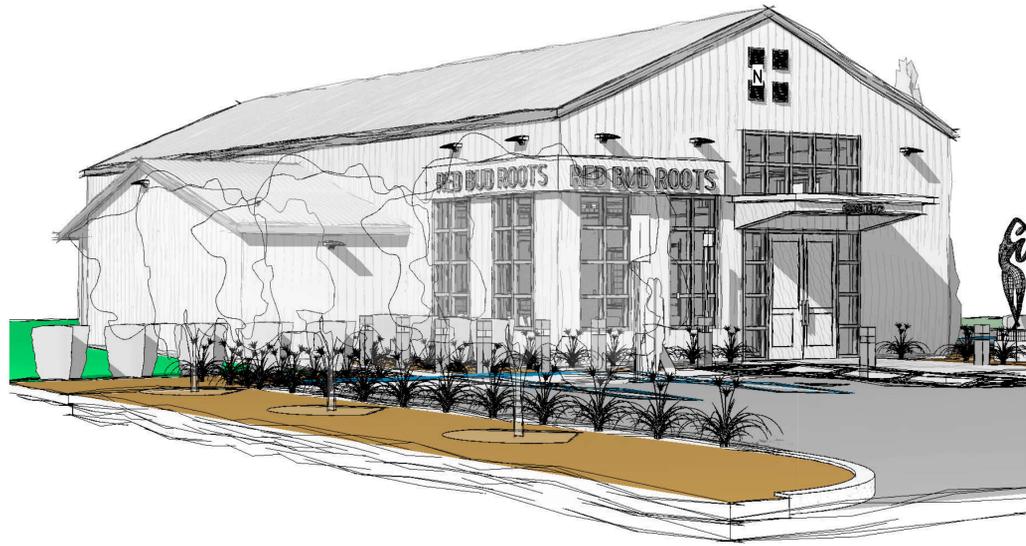


ARCHITECTURE  
BIGGdesigns, llc

www.biggdesigns.com  
127 E. Commerce St. #201  
Milford, MI 48381  
biggdesignsllc@gmail.com  
P: 248.886.4460

12. Method to control any increase in effluent discharge to air or increase in noise emanating from site. (Dust, noise, fumes, vibration, smoke or lights.)
  - a. Response: No dust, fumes, vibrations, smoke is anticipated as this is a retail use. No manufacturing occurs. All products are pre-packaged and sold. No smoking is permitted on site.
  - b. All lights will be shield downlights meeting Dark Sky requirements. A photometric is provided.
13. Indication of how the proposed use conforms to existing and potential development patterns and any adverse effects.
  - a. Response: The proposed use utilizes an otherwise vacant building within an already developed area. There is extensive growth and merchants popping up along M-72 targeting tourist route. The new use is a specialized mercantile providing needs to a focused customer target. Mercantile use and provides less adverse effects than typical manufacturing facilities within the area.
14. Location of air sheds and how the proposed use impacts this natural feature.
  - a. Response: The proposed project does not affect any local air sheds.
15. Plans for Soil Erosion and sedimentation
  - a. Response: Soil erosion permit has been submitted to local authority. Due to the small site, soil erosion permit may not be required. A silt fence will be provided around the construction area regardless of permit requirements. No storm drains existing nearby and any runoff will be mitigated during construction.
16. Incorporation of low impact development storm water technologies, and best management practices,
  - a. Response: (REFER TO S1). A retention pond that is fully vegetated is provided to maintain additional runoff caused by newly constructed areas. The untouched grass areas will remain as natural runoff.
17. Type, direction, intensity of lighting shown on photometric plan in compliance with exterior lighting standards
  - a. Response: (REFER TO PHOTOMETRIC PLANS)
18. Location of cross access management easements
  - a. Response: No cross-access easements provided.
19. Location of pedestrian and non-motorized facilities (if required)
  - a. Response: No pedestrian access is provided to the site.
20. Landscaping Plan
  - a. Response: (REFER TO L1) Additional landscaping is provided to meet ordinance.
21. General description of deed restrictions or cross access of management easements
  - a. Response: No deed restrictions or cross access easements provided.
22. Name and addresses of persons responsible for preparation of Site Plan drawings and supporting documentation,
  - a. Response: (REFER TO S1/A1).
23. Sealed Drawings from a Licensed architect, engineer.
  - a. Response: (REFER TO S1,A1) Licensed Architect and Engineer have created and provided plans. Plans will be submitted to local authorities and comply with Building Codes and zoning ordinances.

Please contact us regarding any comments or questions.



4 PERSPECTIVE



1 LOCATION MAP - CD  
1" = 400'-0"



RESIDENCE

NATURALLY NUTTY FOOD INC.

ACME TWP

GREAT LAKES TRIM

HOXSIES FARM MARKET

AMERHART TRAVERS CITY



2 VICINITY MAP - CD  
1" = 300'-0"



BUSINESS

WIPER SHAKER

GREAT LAKES TRIM

BUSINESS

TRAVERS BAY TRUSS

ACME

GRIT MANUFACTURING

ACME STORAGE

CADILAC CUT STONE

TRACTOR SUPPLY CO



3 KEY PLAN  
1/32" = 1'-0"



PROJECT INFORMATION

CLIENT

- CHRIST FANTA
- RED BUD ROOTS
- 215 POST ROAD
- BUCHANAN, MI 49107
- CHRIS@REDBUDROOTS.COM
- 773.255.3752

ARCHITECT

- CHRIS BIGGERS, NCARB
- LIC: 1301055316 EXP: 10/31/2020
- BIG G designs, LLC
- 127 E. COMMERCE ST. SUITE 201
- MILFORD, MI 48381
- 248.886.4460
- BIGDESIGNSLLC@GMAIL.COM

GENERAL CONTRACTOR

- DALE
- HARRIS BUILDERS
- DALE@HARRISBUILDERSLLC.COM
- 810.891.4341

USE STATEMENT

- STATEMENT DESCRIPTION OF PROJECT
- RENOVATION OF (E) BUILDING AS REQUIRED FOR (N) DISPENSARY

SCOPE OF WORK

- SURVEY: PROVIDED BY CLIENT.
- SITE: MINIMAL WORK, EXCEPT PARKING REQUIRED.
- EXTERIOR: (N) SIGN, FACADE REVISIONS, LIGHTING
- INTERIOR: (N) WALLS, DOORS, FINISHES AS REQUIRED
- ELECTRICAL: (E) 200 A, 120/208, 3P SERVICE TO REMAIN
- MECHANICAL: (N) FLOOR MOUNTED SURFACES
- PLUMBING: (N) RESTROOMS AND PLUMBING AS REQUIRED.
- STRUCTURAL: NOT ANTICIPATED

NOTES

CODE

- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN REHAB. CODE FOR EX. BUILDINGS
- 2015 MICHIGAN FIRE CODE
- 2015 MICHIGAN MECHANICAL CODE
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN FUEL GAS CODE
- 2015 MICHIGAN ENERGY CONSERV. CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2017 ICC ANS A117.1
- LOCAL ZONING ORDINANCE

BUILDING CLASSIFICATION

- CONSTRUCTION TYPE: V-B
- FIRE SUPPRESSION: NONE
- SEISMIC DESIGN: LULR III V.A.B.C.D.E.F
- SNOW LOAD: VERIFY W/LOCAL AUTHORITY

DEFERRED SUBMITTALS

- ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.

COMPLIANCE

- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN EFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULING AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.

NOTES

- DO NOT SCALE PLANS
- COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION
- SUBMIT WEEKLY UPDATES TO OWNER/ARCHITECT INCLUDING SCHEDULE, PHOTOS, AND PROGRESS REPORT
- FIELD VERIFY EXISTING CONDITIONS AND REPORT ANY INCONSISTENCIES TO ARCHITECT. G.C. SHALL SUBMIT ALL AS-BUILTS AND DEVIATIONS FROM THE PLANS TO OWNER & ARCHITECT
- PROVIDE STORAGE FOR ALL EQUIPMENT AND MATERIALS IN ACCORDANCE TO MANUFACTURERS SPECS FOR DURATION OF CONSTRUCTION
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS
- ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED ELECTRONICALLY
- THE PLANS AND DETAILS INCLUDED IN THIS PROJECT ARE FOR THE SOLE PURPOSE OF THIS PROJECT. THE USE OF THESE DETAILS ON ANOTHER PROJECT IS STRICTLY PROHIBITED UNLESS APPROVED BY ARCHITECT.
- COPYRIGHT 2019 BIGGDESIGNS, LLC



**BIGG designs, LLC**  
127 E. COMMERCE ST. SUITE 201  
MILFORD, MI 48381  
248.886.4460  
BIGDESIGNSLLC@GMAIL.COM



SHEET INDEX CD

SHEET	NAME	DATE	REV.
I1	COVER SHEET	03.30.2019	
I2	LIFE SAFETY PLAN	03.30.2019	
I3	GENERAL NOTES	03.30.2019	
I4	UL SPECS	03.30.2019	
I5	EXISTING CONDITIONS PLAN	03.30.2019	
SP1	DRAINAGE PLAN	04.29.2019	
SI	LANDSCAPE PLAN	03.30.2019	04.29.2019
LI	FIRE ALARM PLAN	03.30.2019	
FA	(E) ELEVATIONS	03.30.2019	
FD1	(E) FLOOR PLAN	03.30.2019	
FDI	DEMO PLAN	03.30.2019	
XI	DEMO ELEVATIONS	03.30.2019	
XZ	SITE PLAN	03.30.2019	
A1	FLOOR PLAN	03.30.2019	04.29.2019
A2	CEILING PLAN	03.30.2019	
A3	EXTERIOR ELEVATIONS	03.30.2019	
AE	EXTERIOR ELEVATIONS	03.30.2019	
AS	INTERIOR ELEVATIONS	03.30.2019	
A6	SECTIONS ELEVATIONS	03.30.2019	
A7	ISO-PERSPECTIVES	03.30.2019	
A8	LIGHTING PLAN	03.30.2019	
E1	POWER PLAN	03.30.2019	
E2	SEWER & WATER PLAN	03.30.2019	
P1	DETAILS	03.30.2019	
M1	HVAC PLAN	03.30.2019	
M2	HVAC SPECS	03.30.2019	
FFE	FIXTURES, FURNISHINGS, AND EQUIPMENT	03.30.2019	
INT	INTERIOR FINISH PLAN	03.30.2019	
NRG	COMCHECK	DEFERRED	

PROJECT

19144  
RED BUD ROOTS ACME

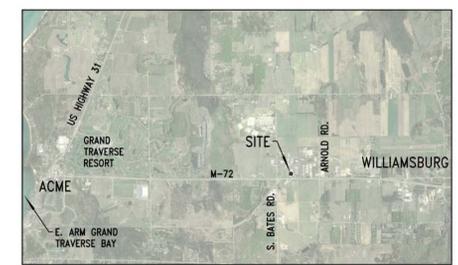
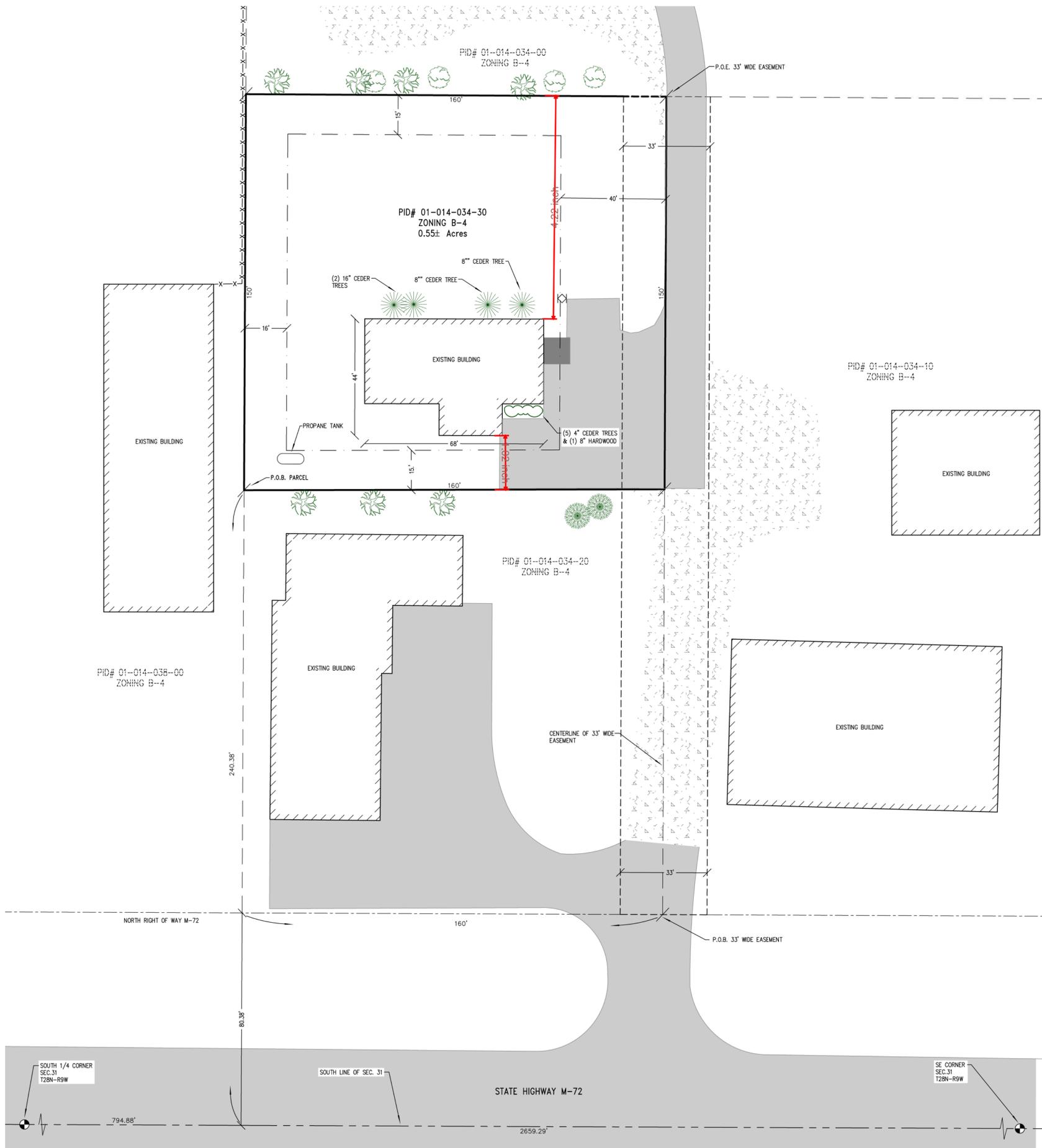
6669 E M-72  
WILLIAMSBURG, MI 49690

PERMIT SET

COVER SHEET  
03.30.2019

REV

REV	NOTE	DATE
1	REV 1-SPA REVIEW	04.29.2019



VICINITY MAP  
SCALE: 1" = 1 MILE

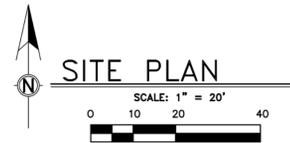
**SITE DATA**

PID# 01-014-034-30  
 LEGAL DESCRIPTION PROVIDED BY CLIENT:  
 THAT PART OF THE SOUTHEAST 1/4 OF SECTION 31, TOWN 28 NORTH, RANGE 9 WEST, MORE FULLY DESCRIBED AS:  
 COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 31; THENCE NORTH 89°26'41" EAST ALONG THE SOUTH SECTION LINE 794.88 FEET; THENCE NORTH 00°33'19" WEST 240.38 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00°33'19" WEST 150.00 FEET; THENCE NORTH 89°41'17" EAST 160.00 FEET; THENCE SOUTH 00°33'19" EAST 150.00 FEET; THENCE SOUTH 89°41'17" WEST 160.00 FEET TO THE POINT OF BEGINNING.  
 EASEMENT 33 FEET IN WIDTH FOR INGRESS AND EGRESS, THE CENTERLINE OF WHICH EASEMENT IS DESCRIBED AS:  
 COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 31, TOWN 28 NORTH, RANGE 9 WEST; THENCE NORTH 89°26'41" EAST ALONG THE SECTION LINE 794.88 FEET; THENCE NORTH 00°33'19" WEST 80.38 FEET; THENCE NORTH 89°41'17" EAST ALONG THE NORTHERLY LINE OF STATE HIGHWAY M-72 A DISTANCE OF 160 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE; THENCE NORTH 00°33'19" WEST 310 FEET TO THE POINT OF ENDING OF SAID CENTERLINE.

CURRENT ZONING: B-4 MATERIAL PROCESSING & WAREHOUSING  
 BUILDING SETBACKS  
 FRONT YARD - 20% OF THE LOT DEPTH  
 160' X 20% = 32' (SHALL NOT BE LESS THAN 40')  
 SIDE YARD - 10% OF THE LOT WIDTH  
 150' X 10% = 15' (SHALL NOT BE LESS THAN 10')  
 REAR YARD - 10% OF THE LOT DEPTH  
 160' X 10% = 16' (SHALL NOT BE LESS THAN 10')

SITE AREA: 0.55± ACRES  
 CURRENT USE: STORAGE BUILDING  
 THE PARCEL BOUNDARY SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND IS BASED ON A COMBINATION OF FIELD OBSERVATIONS, GRAND TRAVERSE COUNTY GIS MAPS, AND A LEGAL DESCRIPTION PROVIDED BY THE CLIENT. THIS DRAWING DOES NOT CONSTITUTE A CERTIFICATE OF SURVEY.

- LEGEND**
- SECTION CORNER
  - BOUNDARY LINE
  - - - SECTION LINE
  - - - ROAD RIGHT OF WAY
  - - - BUILDING SETBACK
  - - - 33' WIDE EASEMENT
  - - - LOT LINE
  - X-X-X- EXISTING FENCE LINE
  - ⊗ EXISTING WATER WELL
  - P.O.B. POINT OF BEGINNING
  - P.O.E. POINT OF ENDING
  - ▨ EXISTING BUILDING
  - EXISTING ASPHALT
  - EXISTING CONCRETE
  - EXISTING GRAVEL
  - ~ EXISTING TREE GROUPING
  - SMALL SHRUB (EXISTING)
  - 8"-12" BLUE SPRUCE (EXISTING)
  - CEDAR (EXISTING)
  - 4" MAPLE (EXISTING)



JOB# 19-005 SHEET	PROJECT REDBUD ROOTS (BIGG DESIGNS) EXISTING CONDITIONS PLAN	6669 EAST M-72 WILLIAMSBURG, MI 49690	Scott D. McLean, P.S. LICENSE# 37817	CHECKED APPROVED BY DATE PRINT DATE	E.J.D. 3/14/19 3/15/19	REVISIONS DATE BY
				NORTHERN MICHIGAN ENGINEERING INC. 114 N. COURT AVE. SUITE 203 GAYLORD, MI 49735 (889) 217-2177 HARBOR CTR. W 49664		

**SP.1**

RevNo	Revision Note	Date	Signature	Checked
01	Proposed Drainage Plan for RED BUD ROOTS - Acme Twp.	04/24/19		KRK

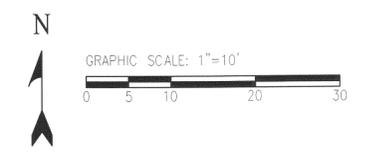
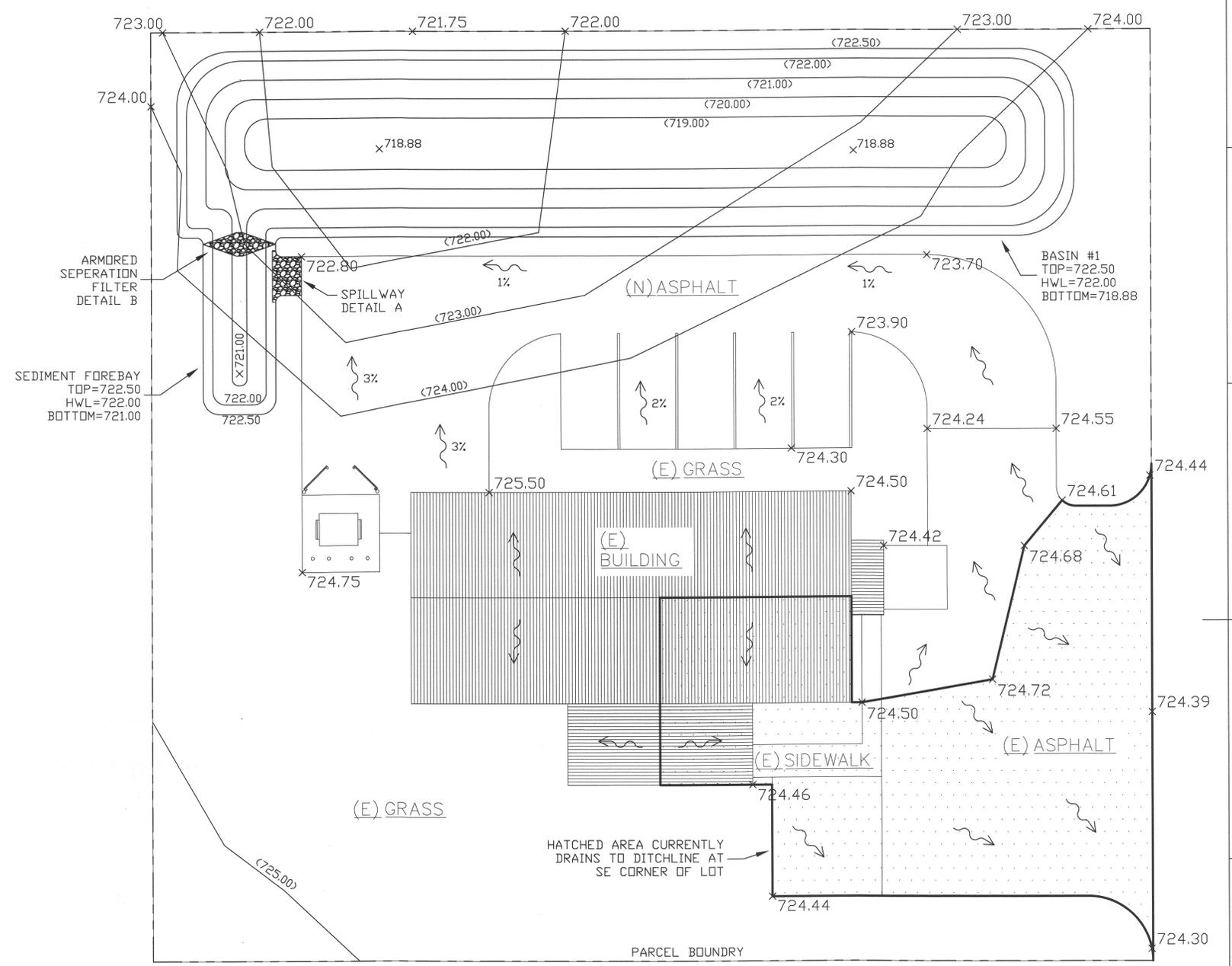
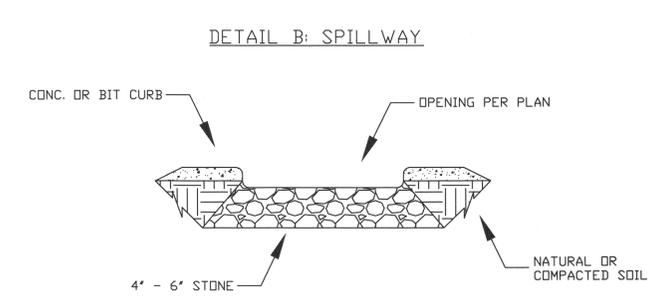
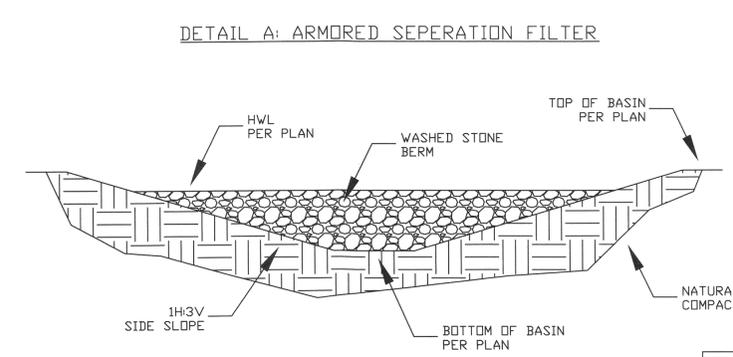
STORMWATER CALCULATIONS

Storm Water Basin Volume Requirements (Double 24-hr 100-yr)					
Tributary Area	Sq. Footage	Acres	Curve Number	Intensity (in/hr)	Q (cft/sec)
Existing Roof	1,983	0.0455	0.95	0.2117	0.0092
Existing Asphalt	818	0.0188	0.98	0.2117	0.0039
Proposed Asphalt	3,252	0.0747	0.98	0.2117	0.0155
Grassed Area	13,125	0.3013	0.10	0.2117	0.0064
<b>Total</b>	<b>19,178</b>	<b>0.4403</b>	-	-	<b>0.0349</b>
Total 24-hr 100-yr (Cu. Ft.)					3,016
<b>Double 24-hr 100-yr (Cu. Ft.)</b>					<b>6,033</b>
<b>Volume Provided (Cu. Ft.)</b>					<b>6,364</b>

Sediment Forebay Volume Requirements (5% 24-hr 25-yr)					
Tributary Area	Sq. Footage	Acres	Curve Number	Intensity (in/hr)	Q (cft/sec)
Existing Roof	1,983	0.0455	0.95	0.1621	0.0070
Existing Asphalt	818.0	0.0188	0.98	0.1621	0.0030
Proposed Asphalt	3,252	0.0747	0.98	0.1621	0.0119
Grassed Area	13,125	0.3013	0.10	0.1621	0.0049
<b>Total</b>	<b>19,178</b>	<b>0.4403</b>	-	-	<b>0.0267</b>
Total 24 hr 25-yr (Cu. Ft.)					2,310
<b>5% 24 hr 25-yr (Cu. Ft.)</b>					<b>115</b>
<b>Volume Provided (Cu. Ft.)</b>					<b>120</b>

- NOTES
1. BASIN VOLUME DESIGNED TO MEET ACME TOWNSHIP ORDINANCE REQUIREMENT TO STORE RUNOFF FROM BACK-TO-BACK 24-HOUR 100-YEAR STORM EVENTS WITHOUT REDUCTION FOR INFILTRATION.
  2. SEDIMENT FOREBAY VOLUME DESIGNED TO MEET ACME TOWNSHIP ORDINANCE REQUIREMENT TO STORE 5% RUNOFF FROM 24-HOUR 25-YEAR STORM EVENT.
  3. MAXIMUM BASIN DEPTH DETERMINED TO BE 3.12 FEET BASED ON STANDARD INFILTRATION RATE OF 0.52 INCHES PER HOUR.
  4. DRAINAGE WATERSHED DELINEATION DETERMINED BY SITE INVESTIGATION.
  5. EXISTING SITE TOPOGRAPHY BASED ON DIGITAL ELEVATION MODEL DATA AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION.

DETAILS



Ref. #01	Description: SITE DRAINAGE PLAN FOR RED BUD ROOTS	Owner: RED BUD ROOTS			
Designed By HARRIS BUILDERS	Checked By K.KOBYLSKI	Approved by - Date KRK - 4/24/19	File Name RBR_SW_01	Date 04/24/19	Scale 1" = 10'

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**Harris Builders, LLC.**  
Traverse City, MI, 49684 231-360-1055

SHEET S1: DRAINAGE PLAN  
PROJECT: RED BUD ROOTS - ACME

Revision 01	Sheet 1/1
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**PLANT SCHEDULE**

MARK	QTY	DESC	COM. NAME	NOTES
A	22	SHRUB	BOX WOOD OR YEWS	
B	10	DECIDUOUS TREE	REDBUD TREE	
C	9	CONIFER TREE	CEDAR TREE	
D	71	GROUND COVER		

**NOTES**

**PLANTING**

- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by White Lake Township, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All plantings shall be completed within three (3) months, and no later than November 30, from the date of issuance of a certificate of occupancy if such certificate is issued during the April 1 thru September 30 period; if the certificate is issued during the October 1 thru March 31 period, the planting shall be completed no later than the ensuing May 31; plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to adjoining properties and including the absence of weeds and refuse.
- Backfill directly behind all curbs and along sidewalks and compact to the curb or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of eighteen inches (18") and backfilled with good, medium-textured planting soil (loam or light yellow clay loam). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth setting unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of eighteen inches (18") depending on the depth of the sub base and dispose of off site. b. Call the Township for an inspection prior to backfilling. c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay loam) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth setting, unless otherwise noted on the landscape plan.
- If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay loam) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth setting.
- Edging, where specified, shall consist of Perma-loc aluminum edging, spaced edge, or approved equivalent.

**MATERIAL**

- Plants shall not be located within two feet (2') of the property line.
- Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be: a. Nursery grown; b. State Department of Agriculture inspected; c. No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d. Staked, wrapped, watered, and mulched; and e. Guaranteed for two (2) years.
- Topsoil shall be friable, fertile soil of clay/loam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheil/Adelphi" @ sixty percent (60%), Cheating Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- Sod shall be two (2) year old "Baron/Sheil/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- Proposed perennials shall be full, well-rooted plants.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

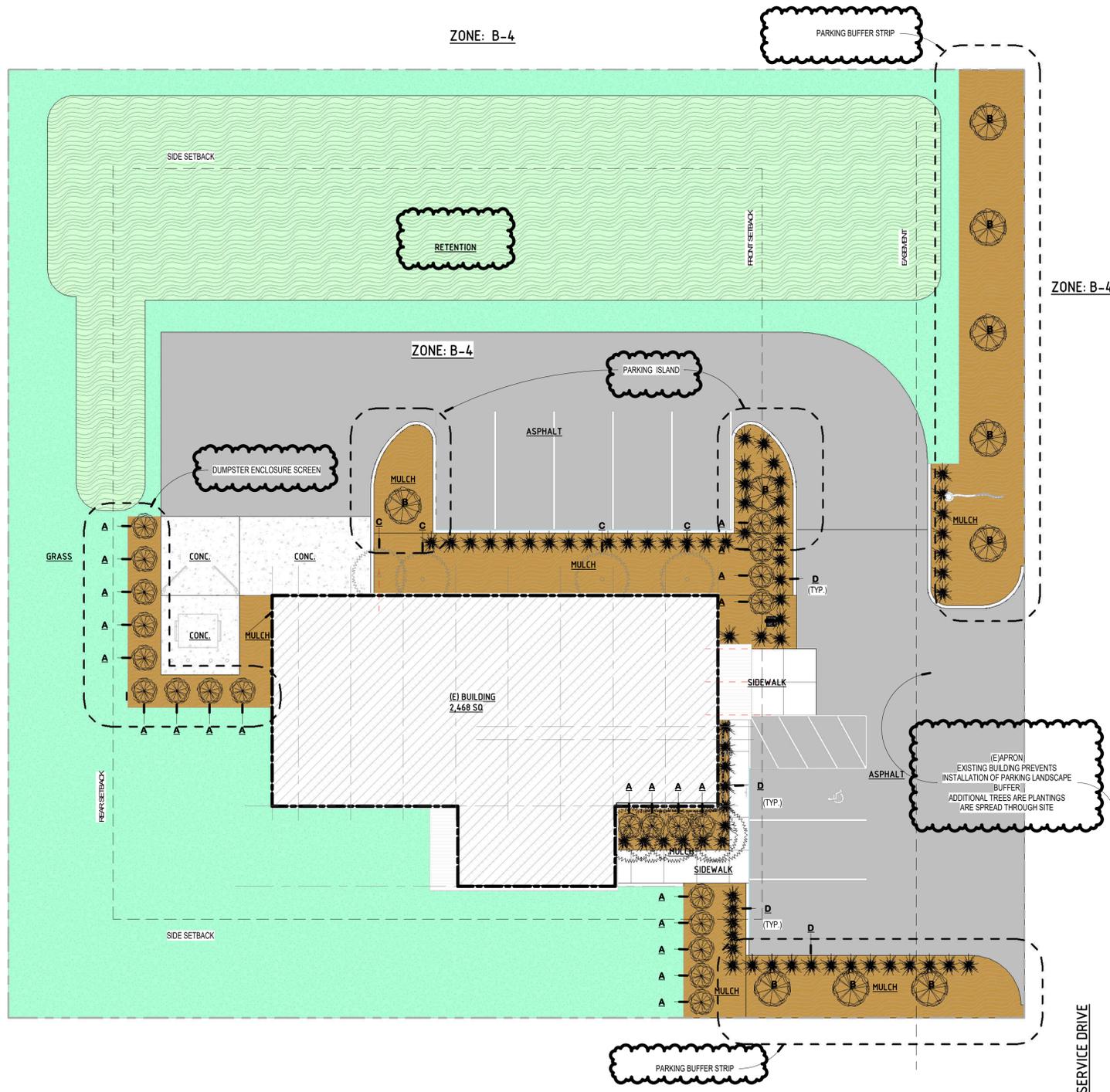
**GENERAL**

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- The cut-de-sac island and greenbelt plantings shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering. The seeded lawn areas in the road right-of-way and open space areas shall be watered by the landscape contractor until complete vegetated coverage is achieved and plants have become firmly established.
- All written dimensions override scale dimensions on the plans.
- Report all changes, substitutions, or deletions to the Owner's representative.
- All bidders must inspect the site and report any discrepancies to the Owner's representative.
- All specifications are subject to change due to existing conditions.
- The Owner's representative reserves the right to approve all plant material.

**MAINTENANCE**

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
- Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.
- Annual beds shall be kept free of weeds and mulched with sphagnum peat of a neutral pH as needed. Perennial beds shall be kept free of weeds and mulched with fine textured shredded bark as needed. Cut spent flower stalks from perennial plants at regular intervals.

**ZONE: B-4**



**NOTES**

- CODE**
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  - 2015 MICHIGAN MECHANICAL CODE
  - 2015 MICHIGAN PLUMBING CODE
  - 2015 MICHIGAN FIRE CODE
  - 2015 MICHIGAN FUEL GAS CODE
  - 2015 MICHIGAN ENERGY CONSERVATION CODE
  - 2017 NATIONAL ELECTRICAL CODE
  - 2017 ICC/ANSI A117.1
  - NFPA 101
  - LOCAL ZONING ORDINANCE

**BUILDING CLASSIFICATION**

- CONSTRUCTION TYPE: II-B
- FIRE SUPPRESSION: NO
- SEISMIC DESIGN: ZONE 1
- SNOW LOAD: CONTACT LOCAL AUTHORITY

(CONTACT LOCAL BUILDING DEPT.)

- DEFERRED SUBMITTALS**
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**COMPLIANCE**

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**REDBUD**  
*Roots*  
 LANDSCAPE ARCHITECTS

**PROJECT**

**19144**  
**RED BUD ROOTS**  
**ACME**  
 6669 E M-72  
 WILLIAMSBURG, MI 49690

**PERMIT SET**

LANDSCAPE PLAN  
 03.30.2019

**REV**

REV	NOTE	DATE
1	REV 1-SPA REVIEW	04.29.2019

**L1**

**LANDSCAPE PLANTING DETAIL**

1/16" = 1'-0"



**LANDSCAPE PLAN**  
 1" = 10'-0"

**EXIST. NOTES**

TAG	NOTE CONTENT
E	EXISTING ELECTRICAL PANEL ( ) AMP, 120/208, 3P
E2	GENERATOR
F1	HEATER
FE	EXISTING FLOOR
G	EXISTING GAS CONNECTION
RE	EXISTING ROOF
RTU	EXISTING RTU: MANUF: _____ MODEL: _____ SIZE: _____ GAS OR ELECT _____
S	EXISTING SEWER CONNECTION SIZE: _____
W	EXISTING WATER LINE: SIZE: _____
WD	EXISTING WALL (DEMISING)
WE	EXISTING WALL (EXTERIOR) 2x4 PURLINS (HORIZ) @2'-0" O.C.
WH	(E) WATER HEATER



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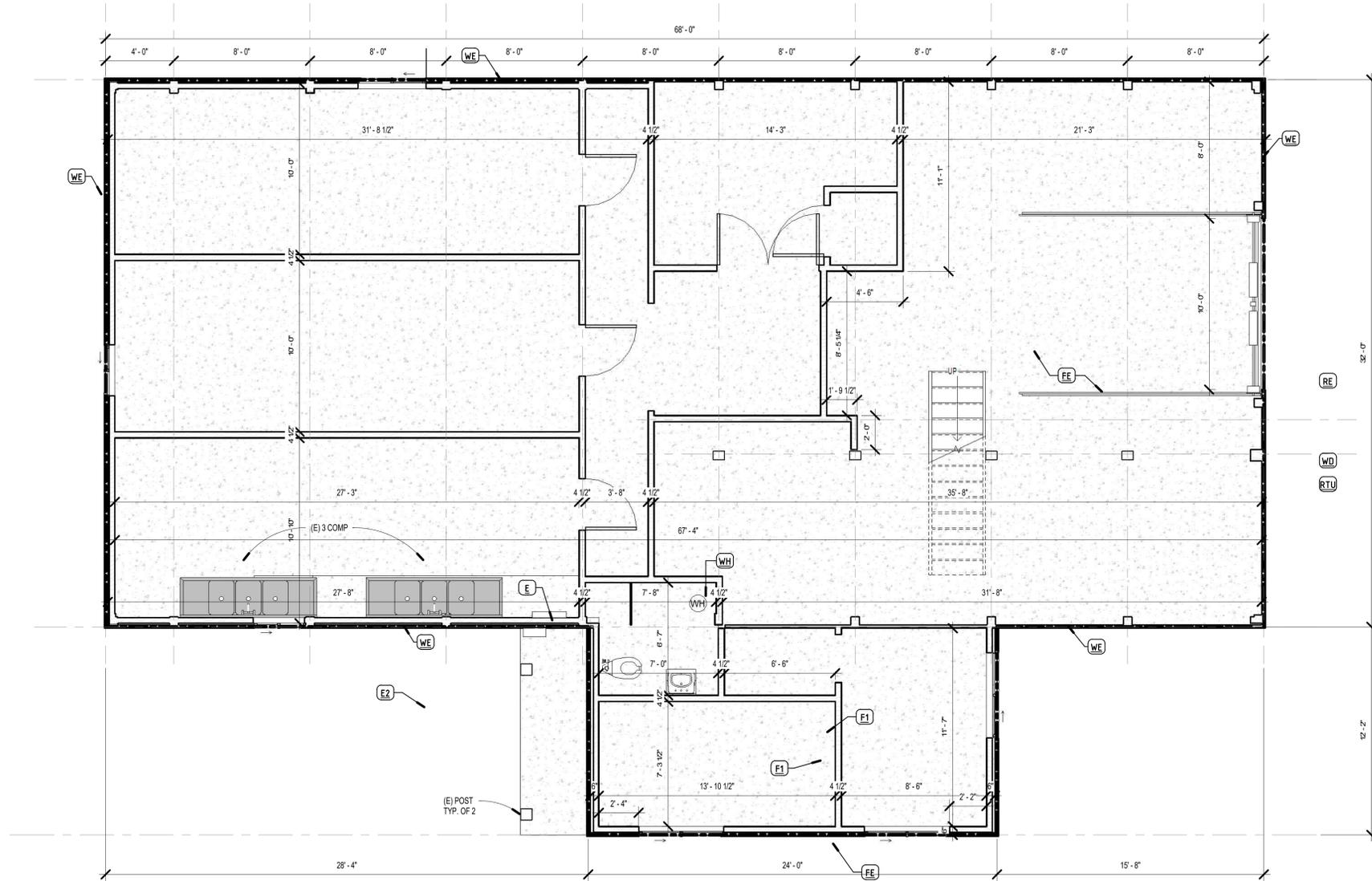
**Red Bud Roots**  
EST. 2011

**PROJECT**

**19144  
RED BUD ROOTS  
ACME**  
6669 E M-72  
WILLIAMSBURG, MI 49690

**PERMIT SET**  
(E) FLOOR PLAN  
03.30.2019

REV	NOTE	DATE



**(E) FLOOR PLAN**  
1/4" = 1'-0"

**NOTES**

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**RED BUD ROOTS**  
WILLIAMSBURG, VA

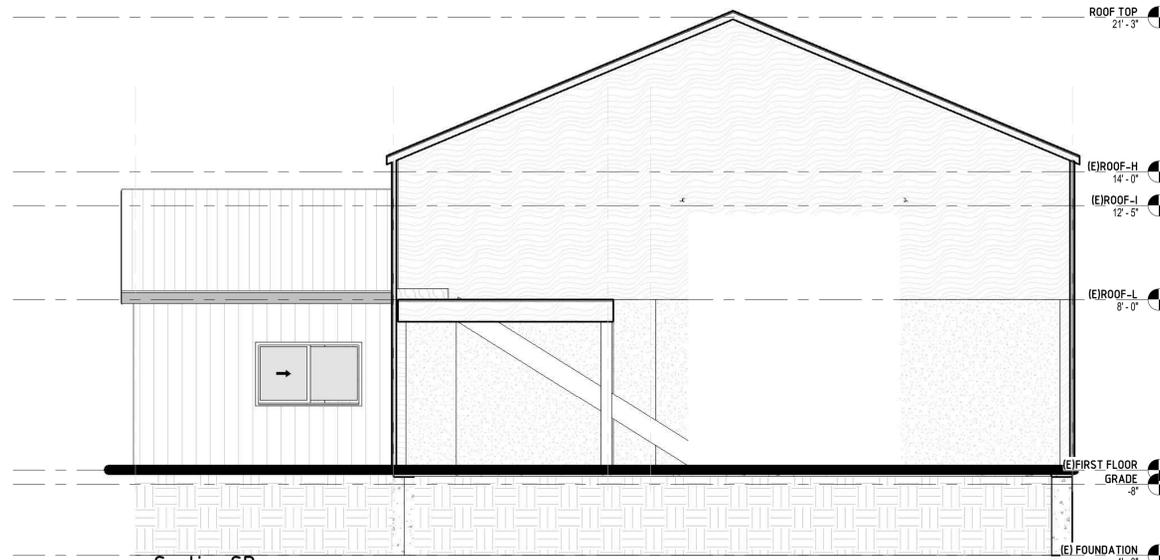
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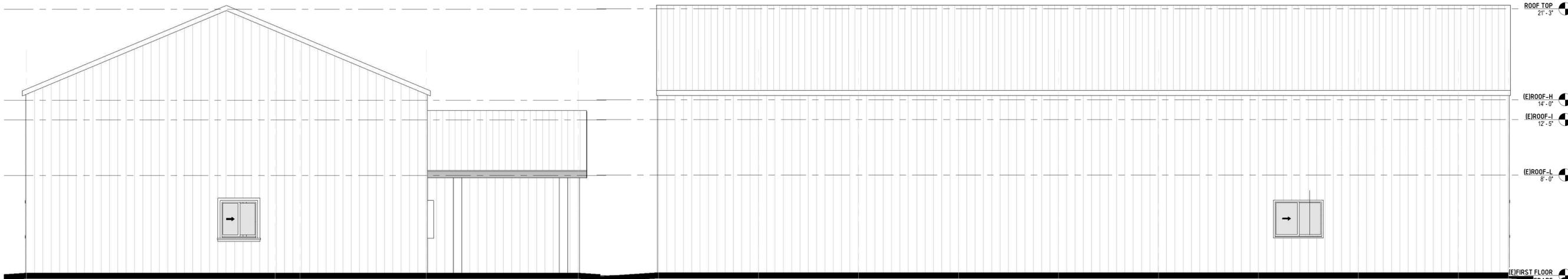
**PERMIT SET**  
(E)ELEVATIONS  
03.30.2019

**REV**

REV	NOTE	DATE

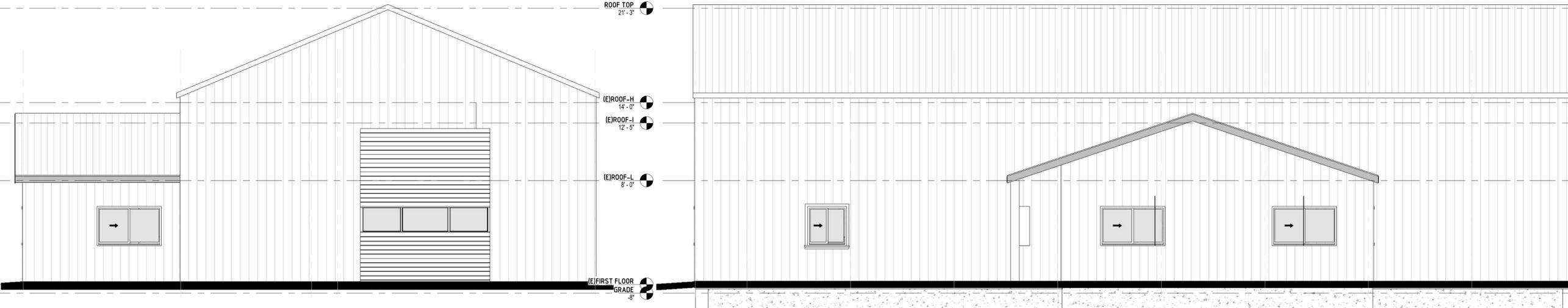


**4 Section SD**  
1/4" = 1'-0"



**2 (E) ELEVATION -WEST**  
1/4" = 1'-0"

**3 (E)ELEVATION -NORTH**  
1/4" = 1'-0"



**1 (E)ELEVATION -EAST**  
1/4" = 1'-0"

**5 (E)ELEVATION -SOUTH**  
1/4" = 1'-0"

**SITE NOTES**

TAG	NOTE CONTENT
1	(E) ASPHALT TO BE REPAIRED
2	RE-STRIP PARKING AS SHOWN
3	(N) CONCRETE WALK
4	(N) GRAVEL DRIVE MAINTAIN (E) ELEVATIONS
5	(N) MULCH
6	(N) DUMPSTER WITH ENCLOSURE PER ZONING ORDINANCE
7	RE-LEVEL AREA TO SLOPE WATER AWAY FROM BUILDING
8	(N) LOADING ZONE (10'-0" X 55'-0"). NOTE THAT ACTUAL LOADING OF VANS OCCURS WITHIN THE BUILDING. EXTERIOR LOADING IS NOT PERMITTED.
9	(E) GRASS RE-SEEDED AS REQ'D.
10	ALL (E) GRADES SHALL REMAIN. (N) PAVING SHALL MATCH (E) GRADES
11	ALL EXTERIOR LIGHTING SHALL BE SHIELDED DOWN AND SHALL COMPLY WITH LOCAL DARK SKY REQUIREMENTS. REFER TO LTG PHOTOMETRIC
12	(N) RETENTION POND- REFER TO STORM DRAINAGE POND.
13	(N) SNOW STORAGE
14	(N) FLAG POLE
15	(N) STATUE
16	(N) RAMP WITH TRUNCATED DOMES

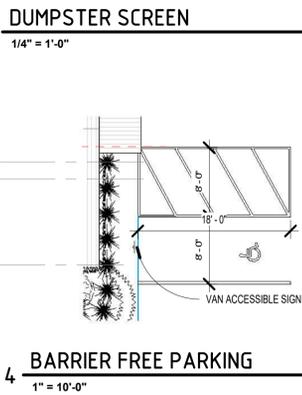
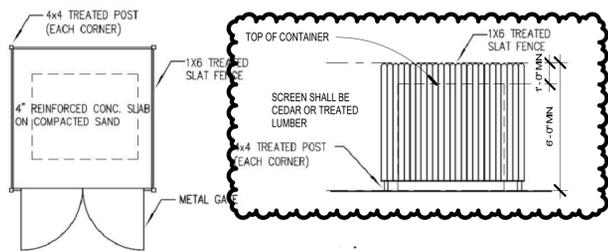
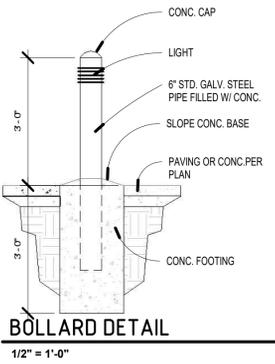
**PROPERTY DESCRIPTION**

P.L.N. : 01-014-034-30  
 ZONE: B-4  
 SITE AREA: 55 ACRES

**PARKING REQUIREMENTS**  
 MINIMUM: 1 PER 1,000 SQUARE FEET OF FLOOR AREA  
 MAXIMUM: 1 PER 200 SQUARE FEET OF FLOOR AREA  
 MIN. PARKING REQUIRED: 2464 SF / 1000 SF = 3 SPACES  
 MAX. PARKING REQUIRED: 2464 SF / 200 SF = 13 SPACES  
 PARKING PROVIDED: 8 SPACES

NOTE: DISPENSARY OPERATES AS A RETAIL FACILITY IN WHICH CLIENTS SCHEDULE APPOINTMENTS FOR CONSULTATION. CLIENTS ARE LIMITED TO LOBBY AREA AND THEN ADMITTED TO THE SALES AREA. IF WALK-IN TRAFFIC OCCURS, CLIENTEL MUST WAIT IN THE LOBBY PRIOR TO ADMITTANCE TO SALES AREA.

PARKING SPACES WILL BE LIMITED TO ADMIT 8 OCCUPANTS MAX. AT A TIME.



**NOTES**

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**REDBUD  
 Roots**

**PROJECT**

**19144  
 RED BUD ROOTS  
 ACME**  
 6669 E M-72  
 WILLIAMSBURG, MI 49690

**PERMIT SET**

SITE PLAN  
 03.30.2019

**REV**

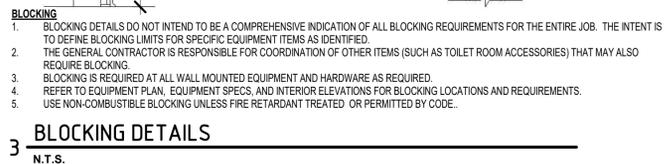
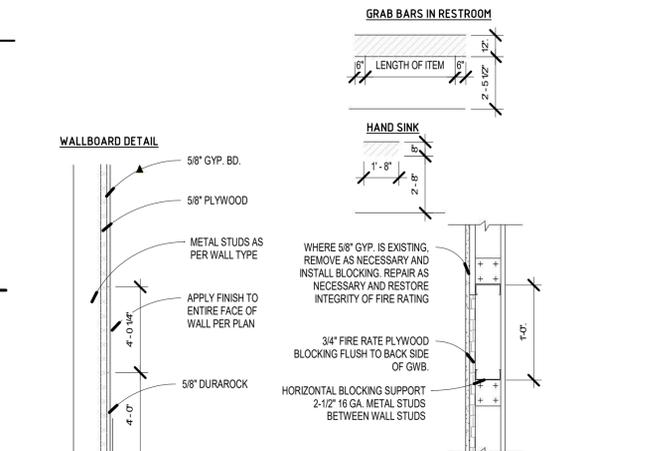
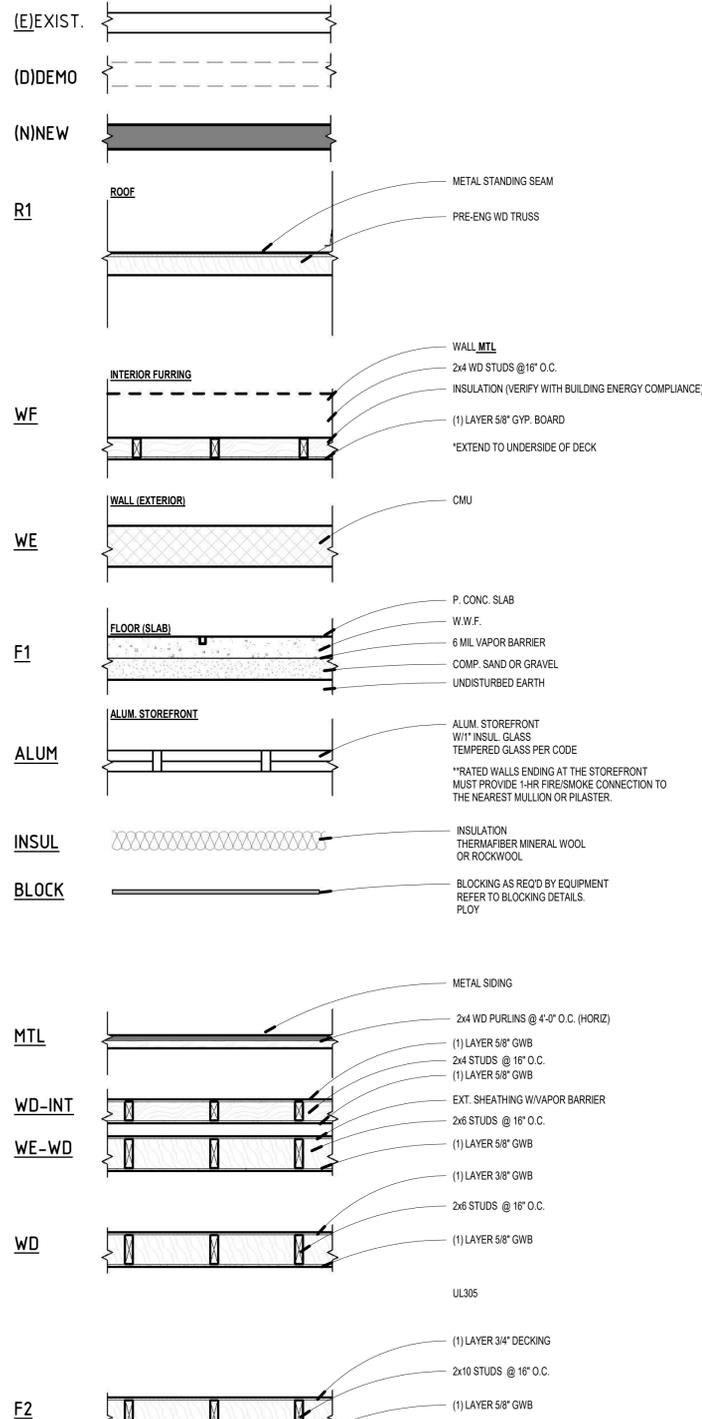
REV	NOTE	DATE
1	REV 1-SPA REVIEW	04.29.2019

**A1**

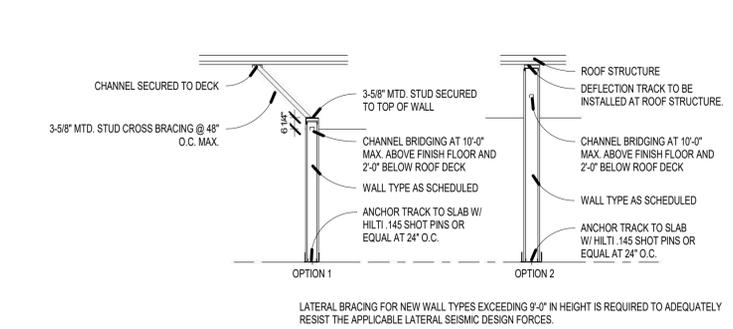
**FLOOR NOTES**

TAG	NOTE CONTENT
A1	CONSTRUCTION SHALL BE COMPLETED ACCORDING TO THE LOCAL BUILDING CODES AND SHALL COMPLY WITH ALL LOCAL BUILDING, PLUMBING, ELECTRICAL, AND ZONING REQUIREMENTS.
A2	FINAL DESTINATION OF FIRE EXTINGUISHERS TO BE DETERMINED BY FIRE MARSHALL. PROVIDE PORTABLE FIRE EXTINGUISHERS FOR ALL AREAS AS NECESSARY PER N.F.P.A. STANDARD #101
A3	OWNER TO PROVIDE "MAXIMUM OCCUPANT LOAD" SIGN WHEN REQUIRED BY CODE
A4	SAW CUT AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW UNDERGROUND PLUMBING (TYPICAL). INSTALL NEW SLAB AND REBAR PER LANDLORD DETAILS
A5	USE CHAINLINK SCREWED TO STUDS @ 12" O.C. ALL WALLS AND CEILING
F1	SAW CUT AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW UNDERGROUND PLUMBING (TYPICAL). INSTALL NEW SLAB AND REBAR PER LANDLORD DETAILS
F6	ADD ROXUL SAFER OOR MINERAL WOOL INSULATION

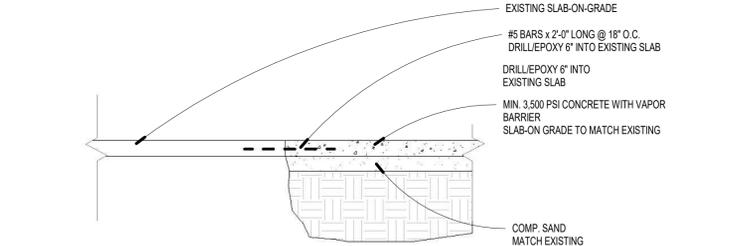
**ASSEMBLY TYPES**



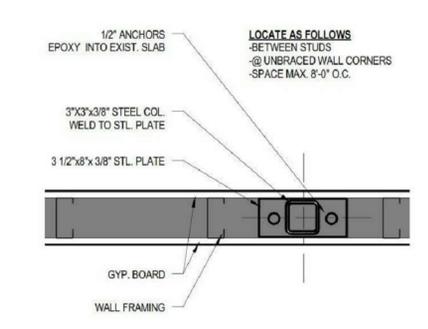
**3 BLOCKING DETAILS**  
N.T.S.



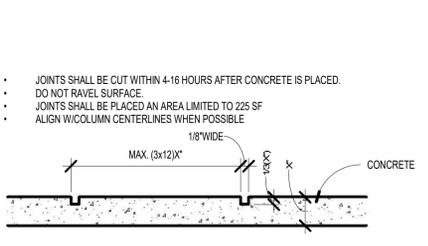
**2 LATERAL BRACING DETAILS**  
N.T.S.



**4 SLAB REPAIR DETAIL**  
N.T.S.

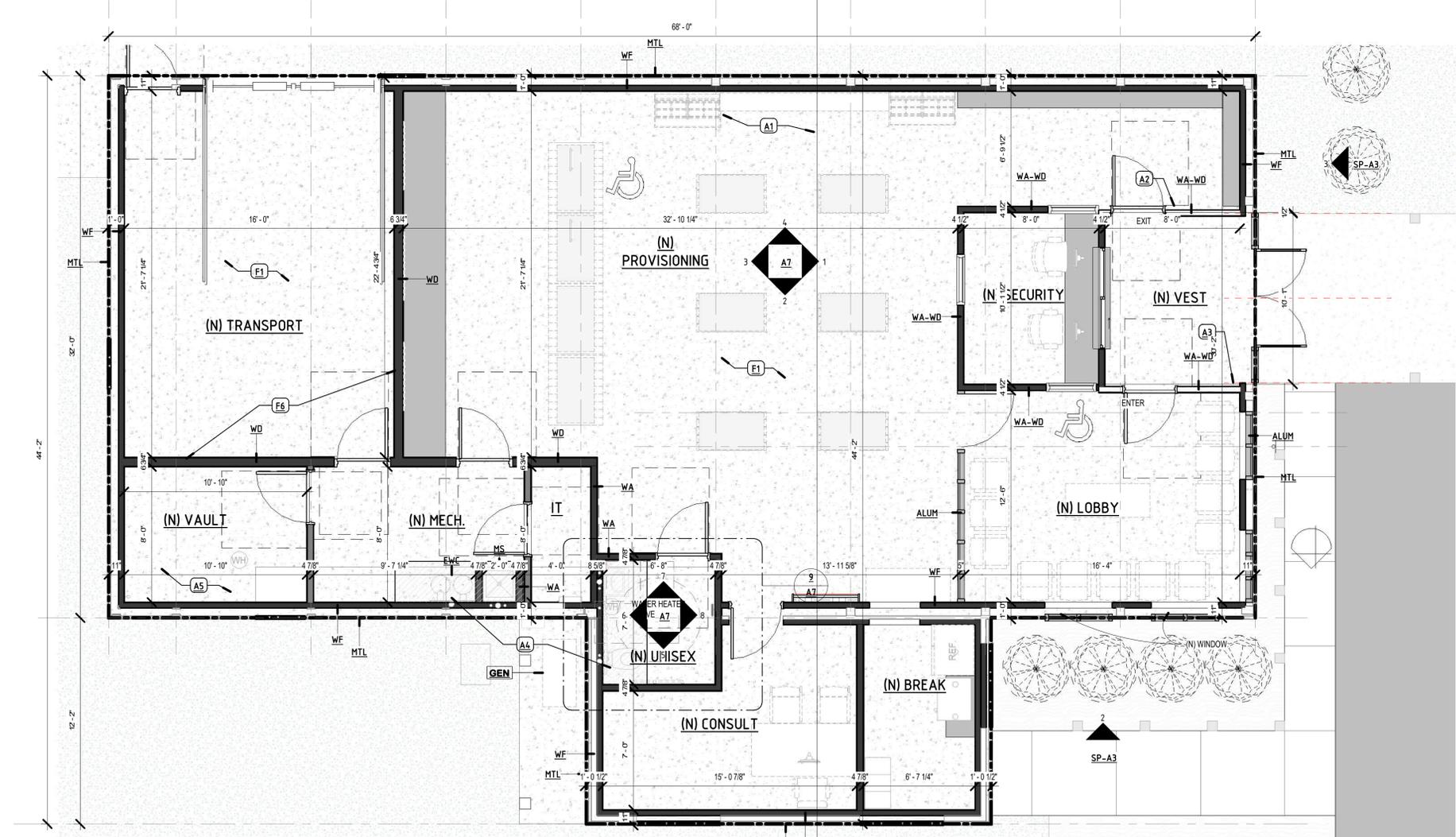


**6 WALL REINFORCEMENT DETAIL**  
N.T.S.



**5 CONTROL JOINT**  
1/2" = 1'-0"

REFER TO SHEET A5 FOR DOOR & HARDWARE TYPES



**1 FIRST FLOOR**  
1/4" = 1'-0"

**NOTES**

- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
  - 2015 MICHIGAN MECHANICAL CODE
  - 2015 MICHIGAN PLUMBING CODE
  - 2015 MICHIGAN FIRE CODE
  - 2015 MICHIGAN FUEL GAS CODE
  - 2015 MICHIGAN ENERGY CONSERVATION CODE
  - 2017 NATIONAL ELECTRICAL CODE
  - 2017 ICC/ANSI A117.1
  - NFPA 101
  - LOCAL ZONING ORDINANCE
- BUILDING CLASSIFICATION**
- CONSTRUCTION TYPE: II-B
  - FIRE SUPPRESSION: NO
  - SEISMIC DESIGN: ZONE 1
  - SNOW LOAD: CONTACT LOCAL AUTHORITY
- (CONTACT LOCAL BUILDING DEPT.)
- DEFERRED SUBMITTALS
  - ALL PLANS LABELED AS DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR LOCAL AUTHORITY FOR APPROVAL PRIOR TO INSTALLATION.
- COMPLIANCE**
- THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH LOCAL CONSTRUCTION CODES IN AFFECT AT TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.
- NOTES**
- DO NOT SCALE PLANS
  - COORDINATE ALL DRAWINGS, DETAILS, AND EQUIPMENT SPECS
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  - COPYRIGHT 2019 BIGGDESIGNS, LLC

**ARCHITECTURE  
BIGGDESIGNS, LLC**  
127 E COMMERCE ST. #201  
MILFORD, MI 48381  
248.886.4460  
BIGGDESIGNSLLC@GMAIL.COM  
WWW.BIGGDESIGNS.COM

**REDBUD**  
Roots  
ESTABLISHED 1914

**PROJECT**

**19144  
RED BUD ROOTS  
ACME**  
6669 E M-72  
WILLIAMSBURG, MI 49690

**PERMIT SET**

FLOOR PLAN  
03.30.2019

**REV**

REV	NOTE	DATE

**ELEVATION NOTES**

TAG	NOTE CONTENT
EL1	(E) STANDING SEAM ROOF
EL2	(E) METAL SIDING
EL3	(E) METAL TRIM
EL4	(N) ALUM. STOREFRONT WITH 1" INSULATION GLASS
EL5	(N) 4x4 EXT. WOOD CUT @ STAGGERED DEPTHS
EL6	(N) WOOD SIGN WITH METAL LETTERS TO MEET ZONING ORDINANCE
EL7	ADDRESS
EL8	(N) O.H. DOOR
EL9	(N) VENTS
EL10	KNOX BOX

**NOTES**

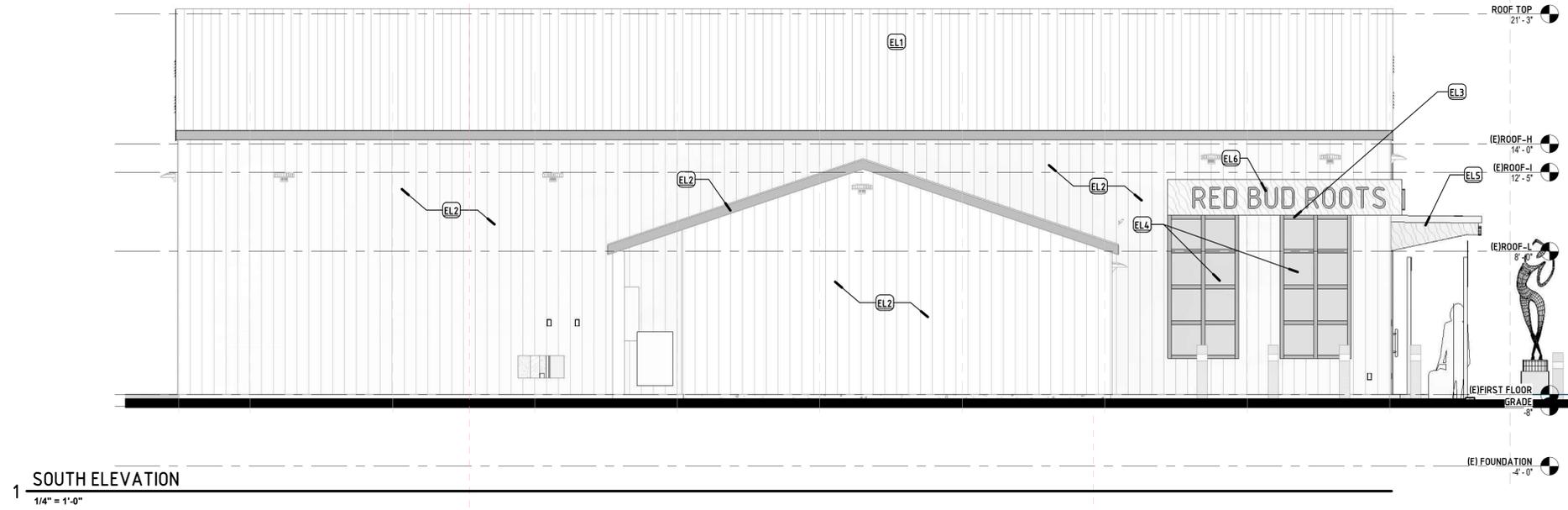
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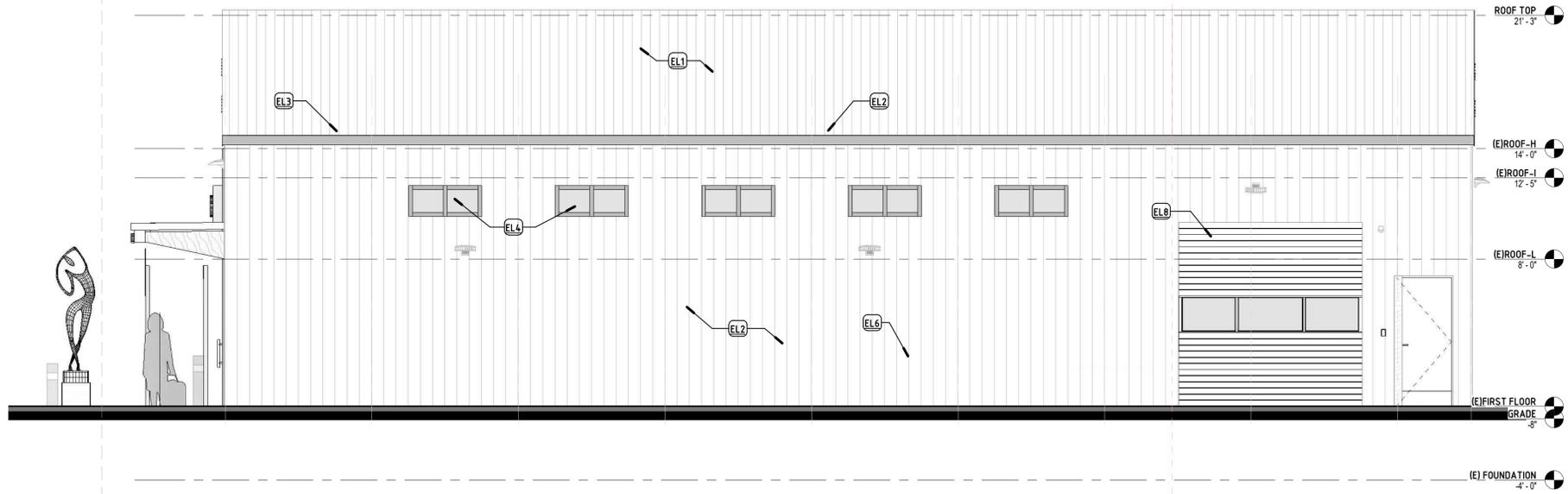
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  - COPYRIGHT 2019 BIGGDESIGNS, LLC



**1 SOUTH ELEVATION**  
1/4" = 1'-0"



**2 NORTH ELEVATION**  
1/4" = 1'-0"

**ARCHITECTURE  
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WWW.BIGGDESIGNS.COM

**PROJECT**

**19144  
REDBUD ROOTS  
ACME**  
6669 E M-72  
WILLIAMSBURG, MI 49690

**PERMIT SET**  
EXTERIOR ELEVATIONS  
03.30.2019

**REV**

REV	NOTE	DATE

**ELEVATION NOTES**

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EL9	(N) VENTS
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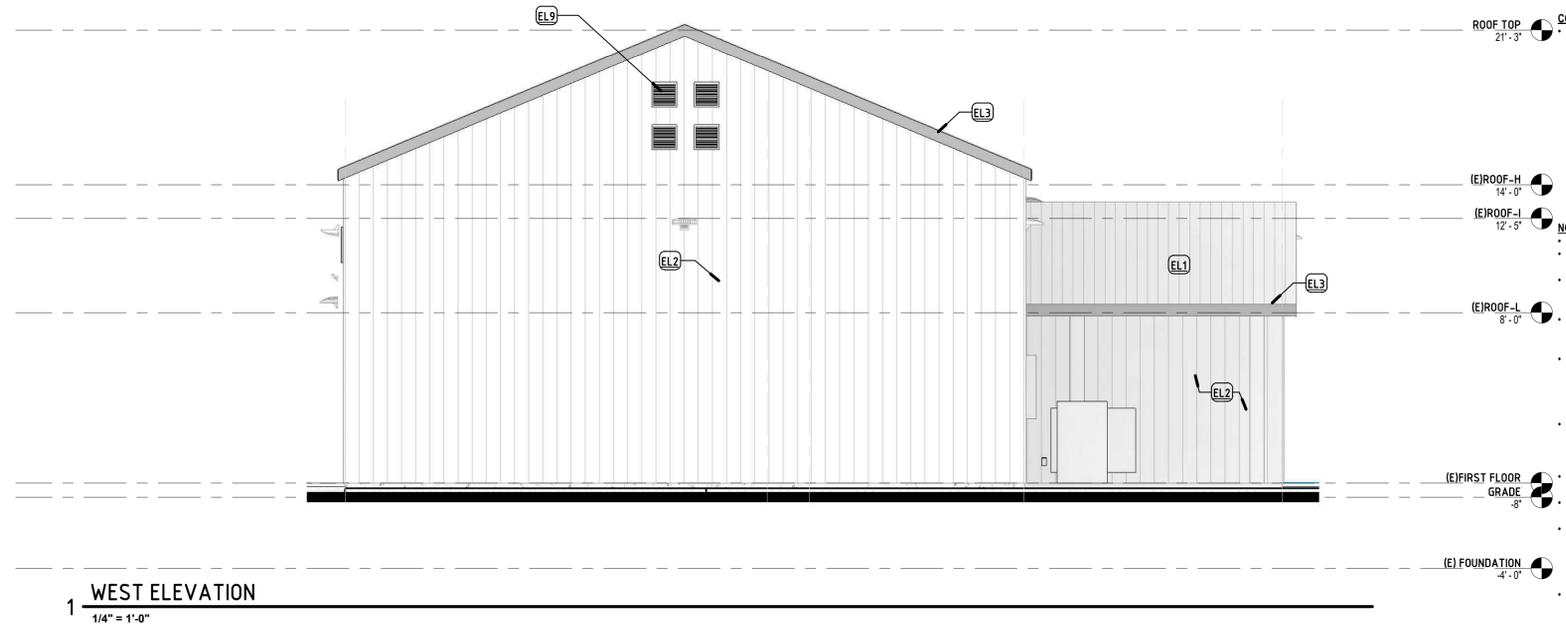
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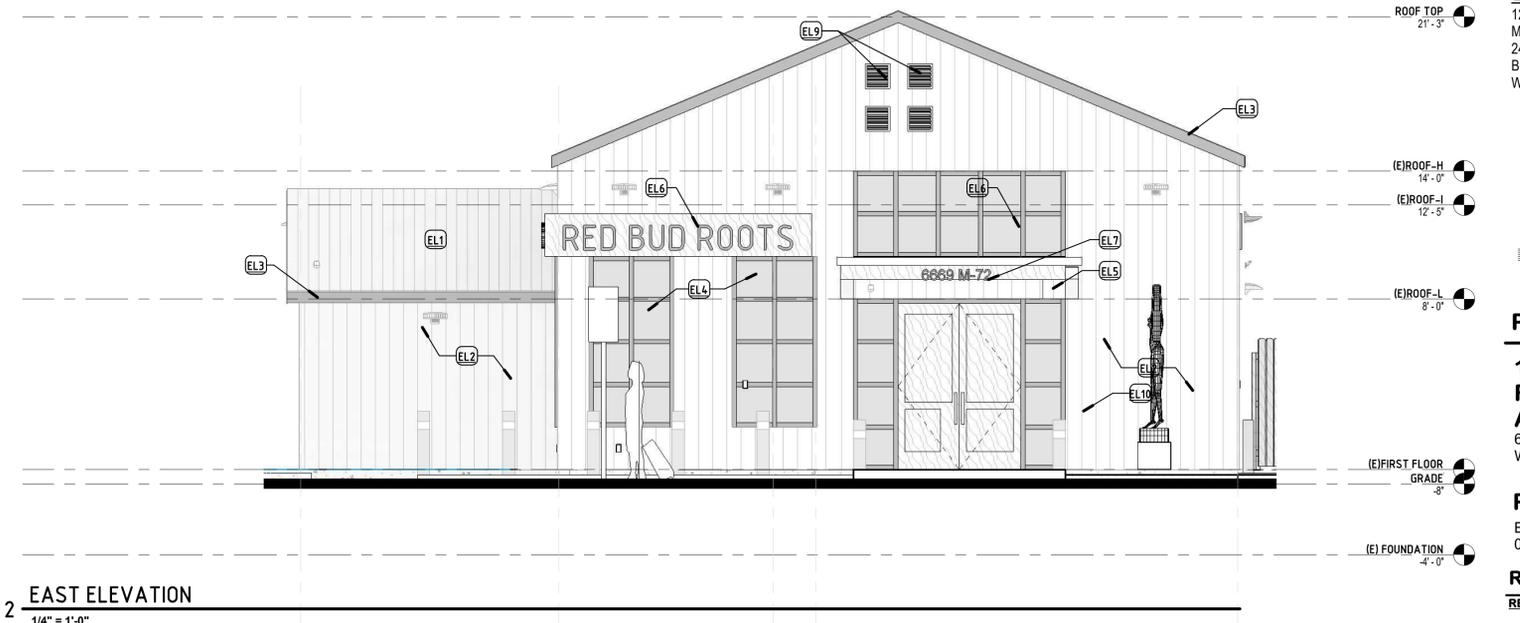
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**1 WEST ELEVATION**  
1/4" = 1'-0"



**2 EAST ELEVATION**  
1/4" = 1'-0"

**ARCHITECTURE  
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**REDBUD**  
*Roots*  
ESTABLISHED 1992

**PROJECT**

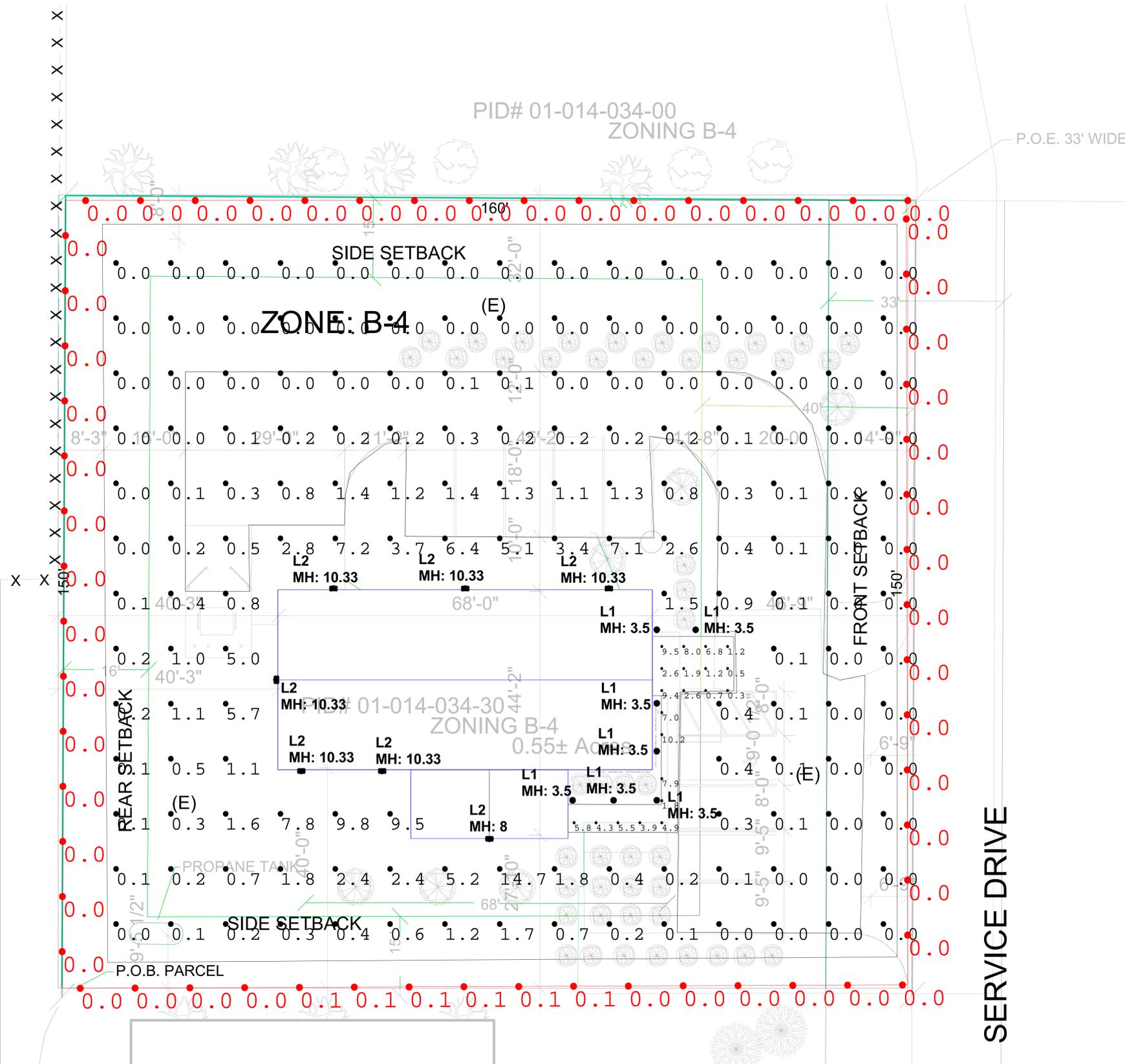
**19144  
RED BUD ROOTS  
ACME**  
6669 E M-72  
WILLIAMSBURG, MI 49690

**PERMIT SET**  
EXTERIOR ELEVATIONS  
03.30.2019

**REV**

REV	NOTE	DATE

**A5**



(E) BUILDING  
ZONE: B-4

Scale: 1 inch= 10 Ft.

Luminaire Schedule					
Symbol	Qty	Label	LLF	Description	
☉	7	L1	0.900	T895LED	Lum. Watts 19.94
☐	7	L2	0.900	XTOR4B-W	Lum. Lumens 898
					37.7
					4205

NOTE:

MOUNTING HEIGHT FOR TYPE "L1" AS MEASURED FROM BOTTOM OF LENS TO A.F.G.

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Overall Site	Fc	0.86	14.7	0.0	N.A.	N.A.
Property Line	Fc	0.01	0.1	0.0	N.A.	N.A.
Sidewalk	Fc	4.57	10.2	0.3	34.00	15.23
Parking Lot	Fc	0.27	1.4	0.0	N.A.	N.A.

REVISION  
X

30775 Barrington St.  
Madison Heights, MI 48071  
P: 248.677.0850  
F: 248.677.0512  
E: info@clarus-lighting.com



PROJECT TITLE  
RED BUD ROOTS ACME  
6669 E M-72  
WILLIAMSBURG, MI 49690

SHEET TITLE  
PHOTOMETRIC CALCULATION  
SITE

DATE  
03-27-19  
PROJECT No.  
CLC19-61590  
SHEET No.

L201

## Shawn Winter

---

**From:** greg klinger <gregklinger@yahoo.com>  
**Sent:** Tuesday, May 28, 2019 12:00 PM  
**To:** Christopher Fanta; Shawn Winter  
**Subject:** Well and Septic Status Form  
**Attachments:** Grand Traverse Docs.pdf

Hey Chris,

I spoke to Brent at the Grand Traverse Health Dept and he indicated that the completed Well and Septic Status form was our confirmation. I have attached a copy of the front and back of that form. They are the first two pages of the attachment. Any questions please call Brent or me. His number is 231-995-6015. Hope that works... Thank you.

Greg Klinger



GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT  
WELL & SEPTIC STATUS FORM - \$25

gklinger@redbudroots.com

change of use

DEMOLITION  REMODEL  ADDITION  HOME REPLACEMENT

change of use

Property Address: 6669 W. M-72 Williamsburg, ME

Property Tax ID: \_\_\_\_\_ Township: \_\_\_\_\_

Owner Name: Redbud Roots (Chris Fanta) Owner Phone: 269-695-6405

Owner Address: 13630 Red Bud Trail W Buchanan, ME 49107

Contractor's Name: Harris Construction Contractor Phone: \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Please include a brief summary of the proposed changes to the property. For residential, please include current bedrooms, proposed bedrooms and whether or not the property has/will have a garbage disposal. For commercial, please state number of bathrooms, employees, and max customers/day.

Use: Retail

1 bathroom

7-9 employees

~40 customers/day

Chris Fanta

AS Klinger / Date Harris 5/24/2019

Signature of Owner/Contractor

Date

# Grand Traverse County Environmental Health WELL & SEPTIC STATUS FORM

(TO BE COMPLETED BY SANITARIAN)

- EXISTING PERMIT AVAILABLE PERMIT # 20249 DATE OF ISSUE: 11/5/91
- EXISTING PERMIT NOT AVAILABLE

- Well shall be properly plugged according to Part 127 of Act 368, P.A. 1978, as amended. Abandoned well plugging record shall be submitted to the Health Department. A new well may be required.
- Septic tank(s) and any other tank(s) associated with the wastewater system shall be pumped by a licensed septic hauler, crushed, and filled or removed. A new wastewater system may be required.
- Existing well meets current well construction code requirements and is approved for use as an:
  - Private Residential Well
  - Irrigation Well
  - Public Well
 circle type: TYPE II TYPE III
- Existing septic system meets current design requirements for proposed use and meets all isolation requirements. Tank(s) Size(s): 12500BL Drained: 15x50'  
Existing septic system will serve:
  - Residential home with \_\_\_\_\_ bedrooms Garbage Disposal: YES NO
  - Commercial facility with design daily flow of 395 gal/day
  - Other use with design daily flow of \_\_\_\_\_ gal/day
- Existing septic system does not meet current design requirements, but is considered "grand-fathered" for proposed use.

Comments:

Total of 395 gal/day (80 gallons for patron + 315 gallons for employees)

[Signature]  
Signature of Health Department Representative

5/24/19  
Date

OFFICE USE ONLY

Receipt Date: 5/24/19

Receipt #: 48076

Initials: Jm

# GRAND TRAVERSE COUNTY HEALTH DEPARTMENT

1102 CASS  
TRAVERSE CITY, MICHIGAN 49684  
PHONE 616/922-4833

GT No 20249

OWNER ADVENT-AGE PROD., INC  
MAILING ADDRESS 4563 M-72 NW  
Williamburg MI 49690 PH. 358-8326  
TYPE OF ESTABLISHMENT BUSINESS NEW  EXISTING   
PROPERTY LOCATION 6669 M-72 E. BATES, MI  
TOWNSHIP ACME SECTION 31  
COUNTY GRAND TRAVERSE DATE 10-16-91

SOIL:  
SOIL TYPES TO A DEPTH OF 6'  
MEDIUM LOAMY SANDS TO 6'  
DEPTH TO GROUND WATER TABLE N/A

NO. OF BEDROOMS <u>1</u>	NUMBER OF BATHS <u>1</u>
SEPTIC TANK SIZE <u>1200 DBL</u>	LAUNDRY <u>NO</u>
TILE FIELD <u>5</u>	DISHWASHER <u>NO</u>
TRENCH WIDTH <u>5</u>	GARBAGE DISPOSAL <u>NO</u>
LINEAL FEET _____	OTHER _____
DRAIN BED <u>15x50</u>	WATER SUPPLY _____
LINEAL FEET <u>750</u>	CITY _____ WELL <u>X</u>
SQUARE FEET <u>750</u>	WELL TYPE <u>4" OR 5" PITNESS</u>
TILE LINES ON <u>3' ONC</u>	DEPTH _____
OTHER _____	OLD WELL TO BE ABANDONED _____
APPROVED _____	

PERMIT TO INSTALL, CONSTRUCT OR REPLACE  
EXPIRES 2 YEARS AFTER DATE OF ISSUE

ISSUED TO ADVENT-AGE PROD. INC  
DATE 11-5-91 BY John Myers  
HEALTH DEPT REPRESENTATIVE  
011786 10-16-91 CM

RECEIVED 140.00 FOR SEWAGE DISPOSAL PERMIT  
\_\_\_\_\_ FOR WELL PERMIT

**AGREEMENT**

I HEREBY AGREE TO COMPLY WITH REQUIREMENTS OF THE SANITARY CODE FOR THE COUNTY OF GRAND TRAVERSE, AND THE APPLICABLE LAWS OF THE STATE OF MICHIGAN IN THE INSTALLATION OF A SEPTIC TANK SEWAGE DISPOSAL SYSTEM & /OR WELL INSTALLATION ON THE ABOVE DESCRIBED PROPERTY, AND TO CONSTRUCT THE SAME ACCORDING TO THE PLANS AND SPECIFICATIONS AS DESCRIBED AND APPROVED ABOVE; OTHERWISE I UNDERSTAND, THE PERMIT WILL BE VOID.

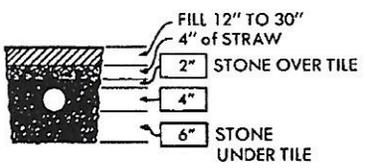
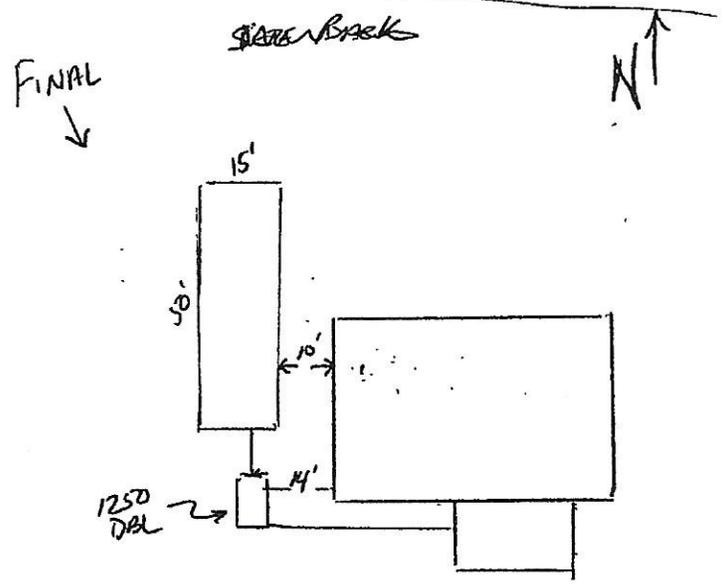
FINAL INSPECTION REQUIRED BEFORE COVERING. ONE DAY NOTICE SHALL BE GIVEN FOR INSPECTION.

SIGNED [Signature]  
OWNER OR AGENT

NON-TRANSFERABLE PERMIT  
SEWAGE PERMIT   
WELL PERMIT

28-001-014-034-30  
PROPERTY TAX NO.

**DIAGRAM**



ALLOW 1" SLOPE PER 50 FOOT OF TILE  
1/2 - 1 1/2 IN. DIA. CLEAN & OR WASHED STONE  
4" OF STRAW TO BE PLACED OVER STONE

**ISOLATION DISTANCES FOR PRIVATE HOMES:**

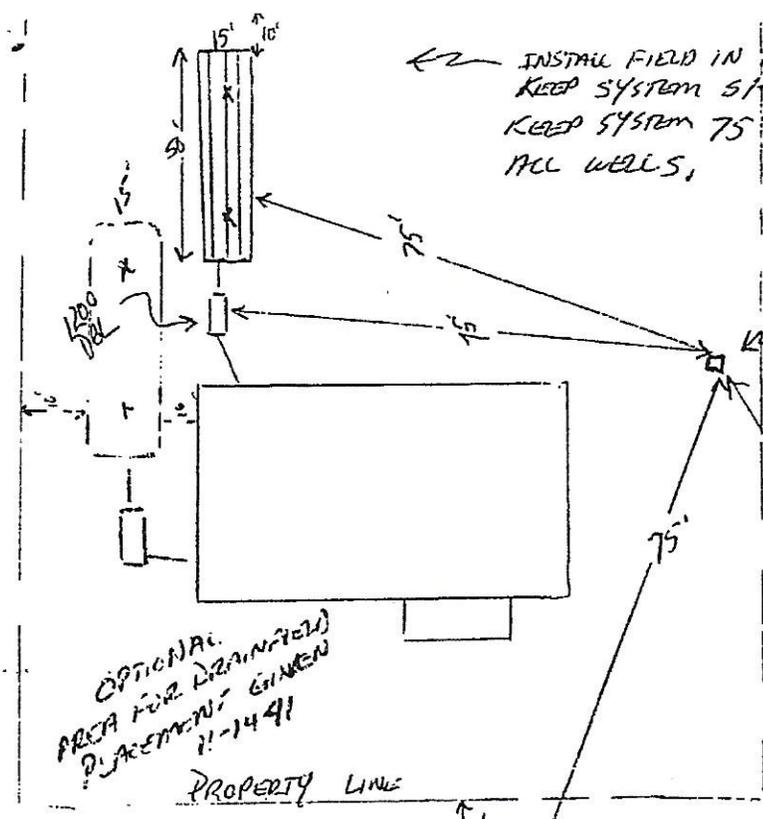
SEWAGE DISPOSAL SYSTEM SHALL BE LOCATED AT LEAST 50 FEET FROM ANY POTABLE WATER SUPPLY, WELL, SPRING, OR UNPROTECTED WATER SUCTION LINE. BURIED OR UNEXPOSED SEWERS OR PIPES THROUGH WHICH SEWAGE MAY BACK UP SHALL NOT BE LOCATED CLOSER THAN TEN (10) FEET FROM ANY POTABLE WATER WELL OR SUCTION PIPE. SUCH SEWERS OR PIPES SHALL BE CONSTRUCTED OF SCHEDULE 40 OR OTHER APPROVED (HEALTH DEPT.) MATERIAL.

**CERTIFICATE OF INSPECTION (PERMIT TO COVER)**

SEWER NOT IN SEPTIC TANK 1250 DBL  
MANUFACTURER OF SEPTIC TANK CONC. SET  
FINAL DISPOSAL 15x50 ISOLATION DIST. WELL NOT IN  
NOTES \_\_\_\_\_  
INSPECTION BY MYERS DATE 11-20-91  
CONTRACTOR MIKE HILL - KALKASKA  
SEPTIC \_\_\_\_\_

WELL \_\_\_\_\_  
APPROVAL OF A PLAN AND THE INSTALLATION CANNOT BE CONSIDERED BY THE OWNER AS A GUARANTEE THAT SUCCESSFUL OPERATION IS ASSURED. THERE ARE MANY WAYS A SYSTEM CAN BE ABUSED CAUSING FAILURE.

← INSTALL FIELD IN AREA OF TEST HOLES AS SHOWN  
 KEEP SYSTEM 5' MLOW.  
 KEEP SYSTEM 75' FROM  
 ALL WELLS,



← KEEP WELL 75' FROM ALL SEPTIC SYSTEMS  
 WELL MUST BE GROUNDED TO MEET AT LEAST THE MINIMUM REQUIREMENTS OF STATE CODE

- TWO SAFE BACTERIA WATER SAMPLES AND A SAFE NITRATE SAMPLE MUST BE OBTAINED FROM WELL PRIOR TO ITS USE

OPTIONAL AREA FOR DRAINAGE PLACEMENT  
 11-1441

PROPERTY LINE

EXISTING SEPTIC SYSTEM

EXISTING SEPTIC SYSTEM

WELLS

- \* - LIGHT MANUFACTURING
- SHAMPOO + DEFOAMER
- 2 EMPLOYEES
- 2 Days/wk.

TYPE III

GEOLOGICAL SURVEY NO.

MICHIGAN DEPARTMENT OF PUBLIC HEALTH

WATER WELL AND PUMP RECORD

28-001-014-034-30

PERMIT NUMBER 20249

1 LOCATION OF WELL		County GRAND TRAVERSE		Township Name ACME		Fraction SW 1/4 SW 1/4 SE 1/4		Section Number 31		Town Number 28NS		Range Number 9 EW	
Distance And Direction From Road Intersection						3 OWNER OF WELL: ADVENTAGE PROD, INC.							
Street Address & City of Well Location 6665 M-72 E						Address 4563 M-72 WILLIAMSBURG, MI							
Locate with "X" in Section Below						4 WELL DEPTH: 85 FT. Date Completed 12/27/91							
Sketch Map:						5 <input type="checkbox"/> Cable tool <input checked="" type="checkbox"/> Rotary <input type="checkbox"/> Driven <input type="checkbox"/> Dug <input type="checkbox"/> Hollow rod <input type="checkbox"/> Auger <input type="checkbox"/> Jetted <input type="checkbox"/>							
2 FORMATION DESCRIPTION						6 USE: <input checked="" type="checkbox"/> Domestic <input type="checkbox"/> Type I Public <input type="checkbox"/> Type III Public <input type="checkbox"/> Irrigation <input type="checkbox"/> Type IIa Public <input type="checkbox"/> Heat pump <input type="checkbox"/> Test Well <input type="checkbox"/> Type IIb Public <input type="checkbox"/>							
SAND & ROCKS						7 CASING: Diameter 5 1/2" <input checked="" type="checkbox"/> Steel <input type="checkbox"/> Threaded <input type="checkbox"/> Plastic <input type="checkbox"/> Welded							
CLAY						Height: Above/Below Surface 1 ft. Weight 500 lbs							
ROCKS & GRAVEL						8 SCREEN <input type="checkbox"/> Not Installed Type PVC Diameter 4" Length 5 FT. Set between 80 ft and 85 ft							
CLAY & SAND & GRAVEL						FITTINGS <input checked="" type="checkbox"/> K-Packer <input type="checkbox"/> Lead Packer <input type="checkbox"/> Bremer Check <input checked="" type="checkbox"/> Blank above screen 2 ft							
SAND						9 STATIC WATER LEVEL 40 FT. ft below land surface <input type="checkbox"/> Flow							
						10 PUMPING LEVEL: below land surface							
						11 WELL HEAD COMPLETION: <input checked="" type="checkbox"/> Pitless adapter <input type="checkbox"/> 12" above grade <input type="checkbox"/> Basement offset <input type="checkbox"/> Approved pit							
						12 WELL GROUTED? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes From 0 to 25 ft <input type="checkbox"/> Neat cement <input checked="" type="checkbox"/> Bentonite <input checked="" type="checkbox"/> Other Volclay							
						13 Nearest source of possible contamination Type Septic Distance 75 ft Direction							
						Well disinfected upon completion? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Was old well plugged? <input type="checkbox"/> Yes <input type="checkbox"/> No							
Dig # 91-258313						14 PUMP. <input type="checkbox"/> Not installed <input type="checkbox"/> Pump Installation Only Manufacturer's name MYRBS Model number Z-W HP 1/2 HP Volts 230 Length of Drop Pipe 60 ft. capacity 10 G.P.M. TYPE <input checked="" type="checkbox"/> Submersible <input type="checkbox"/> Jet PRESSURE TANK Manufacturer's name Welltextol Model number WK302 Pressure Tank							
15 Remarks, elevation, source of data, etc.						16. WATER WELL CONTRACTOR'S CERTIFICATION: This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief. Phil's Well Drilling 0401 REGISTERED BUSINESS NAME REGISTRATION NO. Address 2733 Kenilworth Rd. TC Signed Paul J. King Date 12/30/91 AUTHORIZED REPRESENTATIVE							
17. Rig Operator's Name: Doug Schetter													

D67d 2/89

Authority: Act 368 PA 1978 Completion: Required Penalty: Conviction of a violation of any provision is a misdemeanor.

5/24/2019

Grand Traverse County Health Department  
2650 LAFRANIER RD  
TRAVERSE CITY, MI 49686  
231-995-6051

Receipt # 48076

RECEIPT FOR FEES COLLECTED  
DATE AND TYPE: 5/24/2019 - Credit Card 004106

RECEIVED FROM:  
GREG KLINGER

SERVICE PROVIDED

FEE PAID

STATUS FORM OR AMEND - SEPTIC

\$12.50

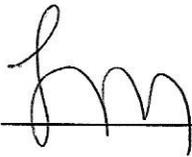
STATUS FORM OR AMEND - WELL

\$12.50

Total Amount Received:

\$25.00

Received By: LESLIE MAHER



(signature)

Additional Detail / Comments:

6669 E. M-72



# GRAND TRAVERSE METRO FIRE DEPARTMENT

## FIRE PREVENTION BUREAU

897 Parsons Road – Traverse City, MI 49686  
Phone: (231) 922-2077 Fax: (231) 922-4918 – Website: [www.gtfire.org](http://www.gtfire.org) Email: [Info@gtfire.org](mailto:Info@gtfire.org)

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### SITE PLAN REVIEW RECORD

ID # P-0171-M6662

DATE: 5/22/19

PROJECT NAME: Redbud Roots Medical Marijuana Provisional Center

PROJECT ADDRESS: 6669 E. M-72

TOWNSHIP: Acme

APPLICANT NAME: Christopher Fanta

APPLICANT COMPANY: Redbud Roots LLC

APPLICANT ADDRESS: 215 Post Rd.

APPLICANT CITY: Buchanan STATE: MI ZIP: 49107

APPLICANT PHONE 773-255-3752 FAX #

REVIEW FEE: \$75.00

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Reviewed By: Kathy Fordyce, Plan Reviewer

This review is based solely on the materials submitted for review and does not encompass any outstanding information. Compliance with all applicable code provisions is required and is the responsibility of the permit holder. Items not listed on the review do not negate any requirements of the code nor the compliance with same. Inspection requests must be made a minimum of 48 hours prior to needed inspection. This plan review is based on the 2015 International Fire Code, as adopted.



# GRAND TRAVERSE METRO FIRE DEPARTMENT

## FIRE PREVENTION BUREAU

897 Parsons Road – Traverse City, MI 49686  
Phone: (231) 922-2077 Fax: (231) 922-4918 – Website: [www.gtfire.org](http://www.gtfire.org) Email: [Info@gtfire.org](mailto:Info@gtfire.org)

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## SITE PLAN REVIEW

ID # P-0171-M6662

DATE: 5/22/19

### **1. 505.1 Address identification.**

New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches (102 mm) high with a minimum stroke width of 1/2 inch (12.7 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address identification shall be maintained.

**- Provide address during remodel and permanently on the M-72 side of the building according to the above criteria.**

**Project may proceed with the township approval process.**

**GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH  
SOIL EROSION AND SEDIMENTATION CONTROL  
SITE DETERMINATION FORM**

PART 91, SOIL EROSION & SEDIMENTATION CONTROL, ACT 451 OF 1994,  
AS AMENDED & GTCHD SOIL EROSION SEDIMENTATION CONTROL ORDINANCE

RECEIVED

MAY 15 2019

Office Use Only	Amount: \$ 25.00
	Receipt #: 47972

Environmental Health

Project Type:     Residential     Multi-Family     Commercial

Project Address: 6669 E M 72    City, Zip: WILLIAMSBURG 49690

Tax #: 28-01-014-034-30    Twp: ACME    Section: 31    Town: T28N    Range: 9W

Subdivision: \_\_\_\_\_    Lot: 147 x 195

Size of Earth Change: 3,385 sq FT    Start Date: 6-10-19    Completion Date: 8-10-19

Name and Distance to Nearest Lake, Stream, Drain: 1159 FT TO YUBA CREEK

Describe Project: ~~REMOVING SOIL & INSTALL ASPHALT PARKING LOT~~    REMOVING SOIL & INSTALL ASPHALT PARKING LOT

Owner's Name: CHRISTOPHER FANTA

Owner's Mailing Address: 215 POST ROAD    City, State, Zip: BUCHANAN, MI 49107

Owner's Phone: 773-255-3752    Owner's email: CHRIS@REDBUDROOTS.COM

Applicant (if other than owner): \_\_\_\_\_

Address: \_\_\_\_\_    City, State, Zip: \_\_\_\_\_

Phone: \_\_\_\_\_    Email: \_\_\_\_\_

\*\*Signature: [Signature]    Date: 5/15/19

-----DEPARTMENT USE ONLY: COMPLETED BY SANITARIAN-----

**THE FOLLOWING CRITERIA DO NOT APPLY:**

- |   |  |
|---|--|
| <p><b>SOM PA 451, PART 91 REQUIREMENTS</b></p> <p><input checked="" type="checkbox"/> Within 500' of Lake or Stream</p> <p><input checked="" type="checkbox"/> Disturb 1 acre or more</p> | <p><b>GTCHD SESC REQUIREMENTS</b></p> <p><input checked="" type="checkbox"/> Within 500' of Regulated Wetland</p> <p><input checked="" type="checkbox"/> Within 500' of a County Drain</p> <p><input checked="" type="checkbox"/> Slopes of 20% or greater</p> <p><input checked="" type="checkbox"/> Group D Hydrologic Soils</p> |
|---|--|

Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

OFFICE REVIEW     FIELD REVIEW

Based on information provided by the Land Owner, the requirement for a Soil Erosion/Sedimentation Control (SESC) Permit has been reviewed in accordance with Part 91, Act 451 of 1994 and the Grand Traverse County Soil Erosion and Sedimentation Control Ordinance, as amended. Grand Traverse County Health Department, County Enforcing Agency, has determined that a SESC Permit is:

NOT REQUIRED     REQUIRED

Sanitarian Reviewer: [Signature]    Date: 5/16/19



To: Lindsey Wolf, Zoning Administrator  
Jay Zollinger, Supervisor

Date: June 5, 2019

From: Robert Verschaeve, P.E.

Re: Red Bud Roots – 6669 E. M-72

This review is being provided as requested by Acme Township and is limited to storm water control measures only for the referenced project in accordance with Ordinance No. 2007-01 Acme Township Storm Water Control Ordinance. Other items such as soil erosion and sedimentation controls will need to be reviewed and permitted through the appropriate agency having jurisdiction.

The plans that were provided for review includes Sheet S1 – Drainage Plan dated 6/5/19 prepared by Kyle Kobylski, PE of Harris Builders, LLC.

The plans show a parking lot addition to an existing building located at 6669 E. M-72. The proposed additional paved parking extends north from the existing driveway and is located along the north side of the existing building. A new stormwater retention/infiltration basin is proposed between the north property line and the new parking area to handle the storm water runoff generated from the proposed improvements. We have reviewed the USCS soils survey and the soils present on site are Kalkaska Loamy Sand. Areas for the building, parking lot, and infiltration basin were scaled from the plans and found to match the areas used in the calculations included on the plans.

Since the proposed plans indicate an infiltration basin to handle storm water, this review is thus completed with respect to the Infiltration/Retention System section of the Ordinance. The items listed and reviewed from this section are as follows:

a. Physical Feasibility

The proposed infiltration basin is appropriate for the soils identified by the presented soil survey.

Design Criteria

i. Volume

The calculations show the required calculations for back to back 100-year, 24-hour rain events since there is no outlet identified for the basin. No infiltration is used in the calculations. The volume provided by the basin is noted as 6,364 cft and the minimum required is 6,033 cft.

ii. Maximum Drain Time

Calculations are noted that indicate a maximum basin depth of 3.12 feet is allowed based on 72 hours at the infiltration rate of .52 in/hour defined in the Ordinance. This is the depth provided in the basin.

iii. Underground Infiltration & Retention

The proposed system is not underground and the requirements of this section are met.

iv. Construction

Applicant is advised of the general requirements of this section to use low earth pressure equipment and to avoid compacting soil in the basin area.

v. Snow Storage

Snow storage shall not displace more than 50% of the storage volume or impeded drainage through the system. The applicant has identified snow storage areas along the south edge of the basin and are advised of the 50% displacement requirement.

b. Treatment Criteria

The requirement for this site is a sediment forebay or equivalent. A sediment forebay is proposed for this site.

c. Controls

No inlet pipes are proposed. Runoff is directed to the sediment forebay via an asphalt curb.

d. Erosion Control

Typical temporary and permanent erosion controls are shown on the plans. A soil erosion permit will be required by Grand Traverse County.

e. Geometry

The proposed geometry meets this section.

f. Public Safety

The side slopes of this basin are 3H:1V and meet the requirements of the section. The water depth is noted as 3.12 feet. Water depths over 5 feet would require special treatments of either a safety ledge or fencing. No special treatments are required.

g. Maintenance

The basin appears accessible for maintenance from the parking lot. Sediment is required to be removed from infiltration basins when it reaches a depth of 50% of the forebay depth or 12 inches, whichever is less. A note is included on the plan identifying that the basins will be inspected and cleaned of silt and debris each spring and fall and that the sediment will be cleaned when required.

The storm water controls for this site are typical for similar sites that can be found in Acme Township and Grand Traverse County. The storm water control plan for the proposed parking expansion of this existing building can be approved.



<b>Acme Township</b>			
<b>Planning &amp; Zoning Report No. 2019-11</b>			
Prepared:	May 28, 2019	Pages:	8
Meeting:	June 10, 2019	Attachments:	Yes
Subject:	SPR 2019-06 GR Hydro TC		

**Application No.:** Site Plan Review (SPR) 2019-06

**Project:** GR Hydro TC  
5549 S. Bates Rd  
Williamsburg, MI 49690

**Request:** To open a retail garden center and hydroponic supply company in an existing building.

**Applicant:** Leo Grant, GR Hydro TC  
5210 Hidden Dunes Dr  
Kewadin, MI 49648

**Owner:** Granczyk & Associates LLC  
10197 Miami Beach Rd  
Williamsburg, MI 49690

**I. OVERVIEW**

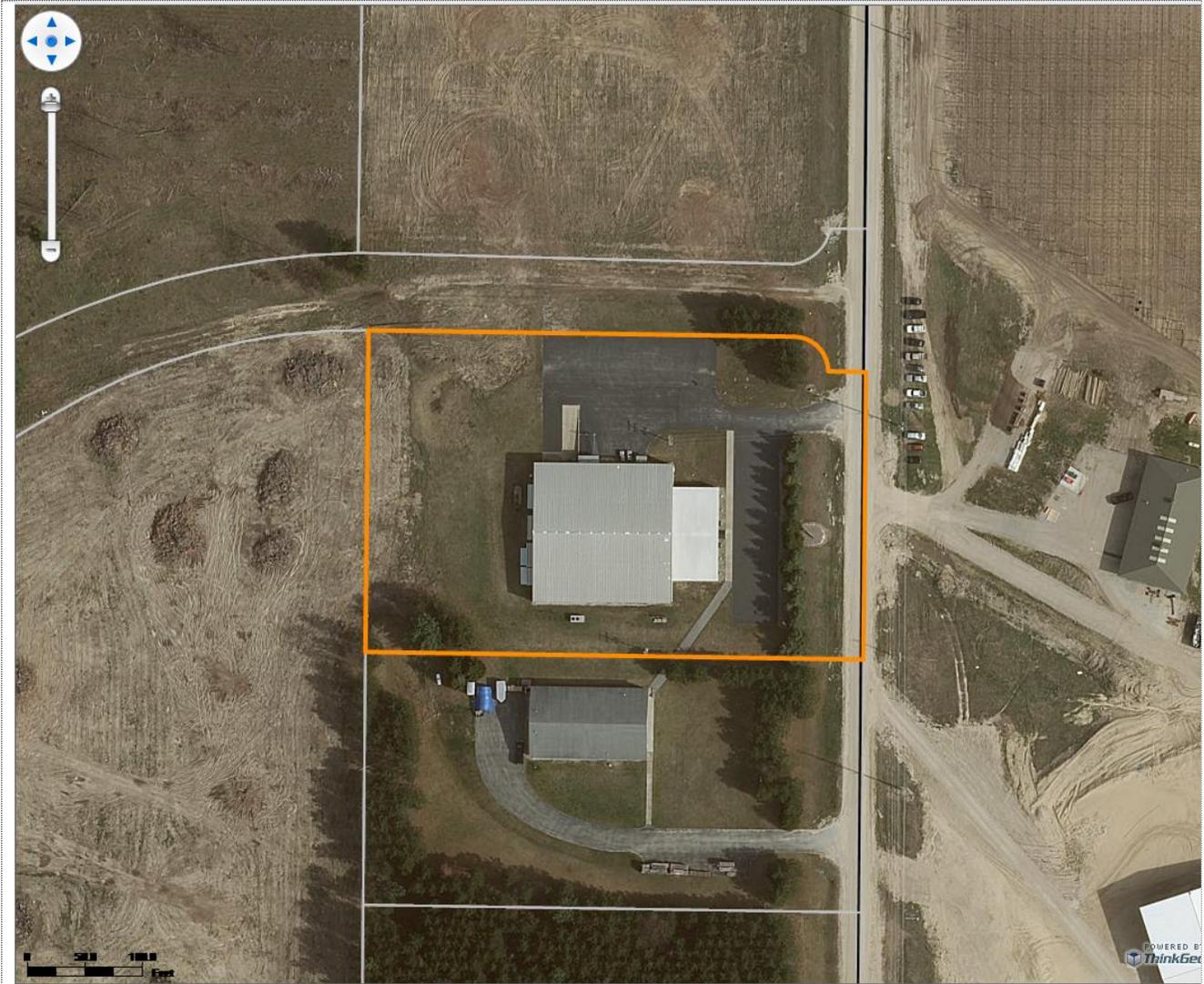
**General Description and Recommendation**

The Applicant is proposing to open a retail garden center and hydroponic supply store in an existing structure that was previously approved for the TC Bulldogs Athletic Association, but never occupied. The existing structure is approximately 17,600 sq ft with existing parking and utilities. The proposed use is allowed by right in the B-4: Material Processing and Warehousing District. No exterior work or site work is proposed at this time.

The proposed use is consistent with the intent and purpose of the zoning district as well as the future land use category. Staff recommends approval of the site plan with consideration of the conditions mentioned in the suggested motion at the end of this report.

Subject Property Location	
Address	Parcel Number
5549 Bates Rd, Williamsburg, MI 49690	28-01-002-005-21
Legal Description	
PARCEL C: PART NW 1/4 SEC 6 T27N R9W COM AT N 1/4 CNR SEC 6 TH S 01 DEG 14'16" E 2045.79' TO POB TH S 0 DEG 14'16" E 249.83' TH N 89 DEG 54'55" W 433' TH N 01 DEG 14'16" W 279.66' TH S 89 DEG 54'55" E 370.17' TH SE'LY 46.96' ALONG A 30' RAD CURVE RIGHT WITH LONG CHORD WHICH BEARS S 45 DEG 04'36" E 42.31' TH S 89 DEG 54'55" E 33' TO POB SPLIT ON 08/02/2006 FROM 01-002-005-20;	

Aerial View



Existing Conditions of Subject Property	
Zoning	Existing Uses
B-4: Material Processing & Warehousing	Vacant. Previously approved as youth athletic facility (never occupied). Prior to that was a table tennis club.
Area	Existing Permits / Prior Approvals
2.753 acres	SUP 2013-10P Institutional Use: youth athletic facility
Site Conditions	
Site is relatively flat in the front with a minor increase in grade towards the west (rear) and south property lines. Existing vegetation is limited to screening trees along the front parking lot and some standing trees in the southwest corner of the property. A private road access exists to the north.	

Adjacent Zoning and Land Uses		
Location	Zoning	Land Use
North:	B-4	Vacant, Amhurst Ashway LLC
East:	A-1	Agriculture, 5555 Arnold LLC
South:	B-4	Light Industrial, Larry Hammond
West:	A-1	Vacant, Bryan & Barbara Romberg

## Relationship to Master Plan

### Future Land Use Category – Industrial

The Industrial category encompasses land use for light industrial, trade related business and warehousing enterprises in the Township. The existing uses currently are located along state highway M72 and Bates Road (an area comprising some existing development of higher density industrial and business uses). This region is seen as appropriate for the location of any future light industrial facilities that should develop with good management of signage, landscaping, utility lines, and related facilities and other possible features such as towers for cellular communication. While special areas in the Township are designated for large-scale light industrial facilities, it is compatible with the Acme Master Plan to also encourage the development of home occupations and concomitant cottage industries in or out of this area.

The main objectives of the Industrial land use category are to provide for non-intrusive industrial operations in high density areas that stimulate the economic vitality of the Township without negatively impacting the surrounding area, and to provide employment opportunities for residents of the Township and surrounding region. Sound access management planning should be included in any new industrial developments.

The intended uses in this category include, but are not limited to: enclosed wholesale facilities, warehouses, high technology industries, light manufacturing, telecommunications industry, and other non-intrusive industrial enterprises. Land uses in the Industrial area should comport with the policies and actions of the Master Plan.

*(p. 72, Acme Township Community Master Plan, adopted August 11, 2014)*

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## II. SUBMITTED APPLICATION MATERIALS

The tables below present the items submitted with the application for the proposed project. These items have been reviewed in accordance with the processes set forth in the Zoning Ordinance

### Drawings

Sheet	Title	Date (revised)
C-1	Site Plan	05.17.19

### Agency Reviews

Agency	Status	Permit No. (Date)
Grand Traverse Metro Fire Dept.	No permit needed	n/a
Grand Traverse Env. Health Dept.	Existing well/septic is adequate	n/a

### Additional Documentation

#### Submitted With Application Packet

- Application
- Project Narrative
- Purchase Agreement
- Escrow Acknowledgement

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## III. ZONING ORDINANCE REVIEW

Listed below are the applicable sections of the Zoning Ordinance that pertain to the proposed project. Items that do not satisfy the standards required by the Zoning Ordinance have been indicated with **bold, red text**.

<b>Zoning District</b>	
§ 6.11	B-4: Material Processing and Warehousing District
§6.11.1	<p><b>Intent and Purpose:</b></p> <p>This district is intended to accommodate those industrial uses, warehousing and storage, and related activities that generate a minimum of noise, glare, odors, dust, vibration, air and water pollution, fire and safety hazards, or any other potentially harmful or nuisance characteristics. It is designed to accommodate wholesale, warehouse, agricultural sales and service related businesses and light industrial activities whose operational and physical characteristics do not detrimentally affect any of the surrounding district.</p>
§6.11.2	<p><b>Uses Permitted By Right</b></p> <p>f. Garden centers and nurseries;</p> <p><i>Note: The proposed use meets the intent of the district and is a use allowed by right. GR Hydro TC is proposing to utilize and existing vacant space without any plans for improvements to the site and therefore it will not be required to bring into compliance zoning standards that are not currently met (e.g. landscaping, parking in the side/rear only, etc.)</i></p>

<b>§ 6.13.1 Schedule Limiting Height, Bulk, Density and Area by Zoning District</b>		
Standard	Requirement	Site Plan
Front Setback	60 ft	88 ft
Side Setback	28 ft	40 ft (south); 117 ft (north)
Rear Setback	50 ft	142 ft

<b>§ 7.4 Signs</b>		
Standard	Requirement	Site Plan
Regulations By Zone – Agricultural District [§7.4.6(e)]	Various – will be reviewed separately	Existing sign structure present. Changes other than copy face will require a sign permit.

<b>§ 7.5 Off-Street Parking and Loading Regulations</b>
<b>Overview of Existing Parking</b>
Existing parking lot consists of two parking rows consisting of an asphalt surface: one in front of the building and on the north side of the building. A total of 29 parking spots are present, which satisfies the requirement of having between 18 and 88 parking spaces based on the use and square footage of the building. Both lots are screened from the Bates Rd right-of-way with existing vegetation. There is also an existing loading dock on the side of the building located near the rear, northwest corner. Three existing pole-mounted luminaires are also present at the three corners of the parking lot (forth corner being occupied by the building itself). <b>The site plan does not include an enclosed dumpster that will need to be added with screening and landscaping meeting the requirements of §7.5.3(c)(2)(d).</b>

<b>§ 7.5.6 Landscaping</b>
<b>Overview of Existing Landscaping</b>
Landscaping is limited to the trees planted along the Bates Rd right-of-way, along with the existing vegetation in the northeast corner and along the south property line.

§ 7.8 Exterior Lighting Requirements		
Standard	Requirement	Site Plan
[§7.8.3(a)(1)]	Downlighting, cut-off shielding, efficiency, minimum amount necessary, lighting hours	3 parking lot light poles in corners of the lot with downward facing, recessed luminaires

#### IV. SITE PLAN REVIEW

The table below presents the required elements for a site plan review per the Zoning Ordinance, whether included in the site plan drawing, written narrative, or both. A “Yes” indicates item was accounted for, “No” indicates missing item, a blank cell indicates it is not required to be demonstrated in the site plan or narrative.

§ 8.1.4 Application Requirements			
Item	Description	Shown On Site Plan	Written Documentation
1.	A description of the environmental characteristics of the site prior to development, i.e.: topography, soils, vegetative cover, drainage, streams, creeks or ponds, as well as, the delineation of these features on the site plan drawing.	n/a	Yes
2.	Types of uses and other man-made facilities		Yes
3.	The number of: people to be housed, employed, visitors or patrons and vehicular and pedestrian traffic		Yes
4.	Phasing of the project, including ultimate development proposals	n/a	Yes
5.	Natural features which will be retained, removed and/or modified including vegetation, drainage, hillsides, streams, wetlands, woodlands, wildlife and water.	n/a	
6.	The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate the areas of change.		Yes
7.	The method to be used to serve the development with water and sanitary sewer facilities		Yes
8.	The location, size, and routing of water and sanitary sewer facilities	n/a	
9.	Plans for storm water control and drainage, including measures to be used during construction	n/a	
10.	Storm water calculations; and if requested storm water modeling data.	n/a	Yes
11.	If public sewers are not available to the site the applicant shall submit a current approval from the health department or other responsible public agency indicating approval of plans for sewage treatment.		Yes
12.	The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site. Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.		n/a

§ 8.1.4 Application Requirements			
Item	Description	Shown On Site Plan	Written Documentation
13.	An indication of how the proposed use conforms to existing and potential development patterns and any adverse effects		n/a
14.	Location of known Air Sheds and how the proposed use impacts this natural feature.	n/a	n/a
15.	Plans to control soil erosion and sedimentation.	n/a	Yes
16.	Incorporation of low impact development storm water technologies and other best management practices such as, but not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered storm water structures.	n/a	n/a
17.	Type, direction, and intensity of outside lighting shown on a photometric plan in compliance with exterior lighting standards.	n/a	n/a
18.	Location of any or required cross access management easements.	n/a	
19.	Location of pedestrian and non-motorized facilities; if required.	n/a	
20.	Landscaping plan	n/a	
21.	General description of deed restrictions and/or cross access management easements, if any or required.		n/a
22.	Name(s) and address(es) of person(s) responsible for preparation of site plan drawings and supporting documentation.	Yes	Yes
23.	Sealed drawings from a licensed architect, engineer, or landscape architect.	No	

§ 8.2 Standards for Site Plan Review	
Standard	Finding
a. That the applicant may legally apply for site plan review.	<b>Satisfied:</b> The Applicant has been authorized by the owner of the property
b. That all required information has been provided.	<b>Satisfied:</b> All necessary materials submitted
c. That the proposed development conforms to all regulations of the zoning district in which it is located and all other applicable standards and requirements of this ordinance, including but not limited to all supplementary regulations.	<b>Satisfied:</b> The Applicant is planning on using an existing structure for a retail and wholesale garden supply center.
d. That the plan meets the requirements of Acme Township for fire and police protection, water supply, sewage disposal or treatment, storm, drainage, and other public facilities and services.	<b>Satisfied:</b> GT Metro Fire – confirmed review is not needed GT County Env. Health – confirmed the existing well and septic systems are adequate for proposed use.
e. That the plan meets the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured.	<b>Satisfied:</b> n/a

§ 8.2 Standards for Site Plan Review	
Standard	Finding
f. That natural resources will be preserved to a maximum feasible extent, and that areas to be left undisturbed during construction shall be so indicated on the site plan and at the site per se.	<b>Satisfied:</b> The site will not be disturbed as a result of occupancy.
g. That the proposed development property respects floodways and flood plains on or in the vicinity of the subject property.	<b>Satisfied:</b> No floodplains present on the site
h. That the soil conditions are suitable for excavation and site preparation, and that organic, wet, or other soils which are not suitable for development will either be undisturbed, or modified in an acceptable manner.	<b>Satisfied:</b> No future development proposed.
i. That the proposed development will not cause soil erosion or sedimentation problems.	<b>Satisfied:</b> There will be no soil disturbance
j. That the drainage plan for the proposed development is adequate to handle anticipated storm water runoff, and will not cause undue runoff onto neighboring property or overloading of water courses in the area.	<b>Satisfied:</b> No changes to the existing grading or drainage plan proposed
k. That grading or filling will not destroy the character of the property or the surrounding area, and will not adversely affect the adjacent or neighboring properties.	<b>Satisfied:</b> No grading to be performed
l. That structures, landscaping, landfills or other land uses will not disrupt air drainage systems necessary for agricultural uses.	<b>Satisfied:</b> No airsheds in close vicinity
m. That phases of development are in a logical sequence, so that any one phase will not depend upon a subsequent phase for adequate access, public utility services, drainage, or erosion control.	<b>Satisfied:</b> No phases proposed
n. That the plan provides for the proper expansion of existing facilities such as public streets, drainage systems, and water and sewage facilities.	<b>Satisfied:</b> No expansion proposed
o. That landscaping, fences or walls may be required when appropriate to meet the objectives of this Ordinance.	<b>Satisfied:</b> No additional landscaping proposed
p. That parking layout will not adversely affect the flow of traffic within the site, or to and from the adjacent streets.	<b>Satisfied:</b> No impact determined
q. That vehicular and pedestrian traffic within the site, and in relation to streets and sidewalks serving the site, shall be safe and convenient.	<b>Satisfied:</b> Existing parking and circulation meet the standards of the Ordinance and will not inhibit safety or convenience.
r. That outdoor storage of garbage and refuse is contained, screened from view, and located so as not be a nuisance to the subject property or neighboring properties.	<b>Not Satisfied:</b> Dumpster enclosure will be added

§ 8.2 Standards for Site Plan Review	
Standard	Finding
s. That the proposed site is in accord with the spirit and purpose of this Ordinance, and not inconsistent with, or contrary to, the objectives sought to be accomplished by this Ordinance and the principles of sound planning.	<b>Satisfied:</b> The proposed use and overall plan is consistent with this Ordinance and planning documents with the exceptions included in this report that need to be addressed.

**V. REPORT SUMMARY**

The Applicant is proposing to reuse an existing vacant building at 5549 Bates Rd for a 17,600 sq ft retail and wholesale garden supply center which is a use allowed by right in the B-4 zoning district. The property was previously approved under a special use permit to be the home of the Traverse City Bulldogs Athletic Association. That approval also included the adjacent parcel to the west. Some work began on the interior of the building and the rear parcel had the trees removed. However, the project never materialized to the point of occupancy and has since sold.

Since the Applicant is proposing to occupy an existing vacant building with no improvements to the site or expansion of the facility there is no trigger to automatically force the Applicant to bring the development into compliance in areas where it is now deficient. Per the Zoning Ordinance, the Planning Commission is having this application come before it for review and approval since it is a change of use to the property.

*Suggested Motion for Consideration:*

Motion to approve Site Plan Review application SPR 2019-06, submitted by Leo Grant of GR Hydro TC to occupy and operate an approximately 17,600 square foot retail and wholesale garden supply center in the existing vacant building located at 5549 Bates Rd, with the following conditions:

1. A dumpster enclosure shall be added to the site plan that meets the screening and landscaping requirements of §7.5.3(c)(2)(d)
2. A revised site plan sealed by a licensed engineer shall be submitted as a full size print and pdf document, signed by the Planning Commission Chair and Applicant.



## Special Use Permit/Site Plan Review Application

Township of Acme, Grand Traverse County, Michigan

6042 Acme Road, Williamsburg, MI 49690

Phone: (231) 938-1350 Fax: (231) 938-1510 Web: [www.acmetownship.org](http://www.acmetownship.org)

Planning & Zoning Administrator: Shawn Winter Email: [swinter@acmetownship.org](mailto:swinter@acmetownship.org)

### Owner Information (please type or print clearly):

Name: Granczyk & Associates, LLC Phone: (231) 267-5077

Mailing Address: 10197 Miami Beach Road

City: Williamsburg State: MI Zip: 49690

Email Address: Chester F. Grant JR CFGrantJR@gmail.com

### Applicant Information (please type or print clearly):

Name: Leo Grant Phone: (231) 709-0411

Mailing Address: 5210 Hidden Dunes Drive

City: Kewadin State: MI Zip: 49648

Email Address: GRHydroTC@gmail.com

### A. Property Information:

1. **Address:** 5549 S. Bates Road, Williamsburg, MI 49690

2. **Parcel Number/Property Description:** 2801-002-005-21

3. **Current Zoning of Property:** B-4

4. If this project is one phase of a larger development and/or property subject to an existing/previous Site Plan Review, Special Use Permit, or Variance, what is/are the applicable permit number(s)?

5. **Provide proof of current property ownership.** If applicant is not the current property owner, also provide written permission to act as agent of, and complete contact information for the current property owner.

**Attachment:** Accepted offer to purchase

**6. Proposed Use/Change to Property**

Retail Garden Center and Hydroponic Supply

**7. Estimated Start and Completion Dates:** July 8, 2019 - August 1, 2019

**B. Application Packet Requirements: REFER TO ACME TOWNSHIP ZONING ORDINANCE AND COMPLETE ATTACHED CHECKLIST**

**C. Fees:** Include initial fee as required by the Acme Township Ordinance #2004-01

**D. Fee Escrow Policy Acknowledgement:** Provide completed and signed form with initial escrow fee deposit.

**E. Affidavit:** The undersigned affirms that he/she is the lessee (owner, agent, lessee, or other interested party) involved in this petition and that the foregoing answers, statements and information are in all respects true and, to the best of his/her knowledge, correct. By making this application, the undersigned grants all officials, staff and consultants of Acme Township access to the subject property as required and appropriate to assess site conditions in support of a determination as to the suitability of the proposed project and/or current or future Special Use Permit and Zoning Ordinance compliance.

Signed: Leo Grant



Date: 5-20-2019

**FOR TOWNSHIP USE ONLY**

Application Number: SPR 2019-06

Date Received: 05.20.19

Public Hearing/Meeting: 06.10.19

Date of Advertising: N/A

T&A Account: 106

**NOTES:**

Leo Grant (lease) on behalf of Granczyk & Associates, LLC (owner)

GRHydroTC@gmail.com  
(231) 709-0411  
5210 Hidden Dunes Dr  
Kewadin, MI 49648

Proposed use of 5549 S. Bates Road, Williamsburg, MI.

Parcel Number: 2801-002-005-21

Current Zoning: B-4

Operating company at location will be "GR Hydro TC". It will operate as a retail and wholesale supplier of gardening and hydroponic supplies. These items will include fertilizers and nutrients along with growing medium such as soil. Will also provide hydroponic supplies such as lighting and environmental control equipment such as air conditioning and humidity control.

It is expected that within 4 weeks of the closing date retail sales will begin. Wholesale and ecommerce sales will follow within 6 months.

#### RETAIL OPERATIONS

Hours of operation when the doors are open to the public will be:

Monday: 10:00 am – 7:00 pm  
Tuesday: 10:00 am – 7:00 pm  
Wednesday: 10:00 am – 7:00 pm  
Thursday: 10:00 am – 7:00 pm  
Friday: 10:00 am – 7:00 pm  
Saturday: 10:00 am – 7:00 pm  
Sunday: 11:00 am – 3:00 pm

Staffing for retail will consist of 3 to 4 employees until future evaluation of needs.

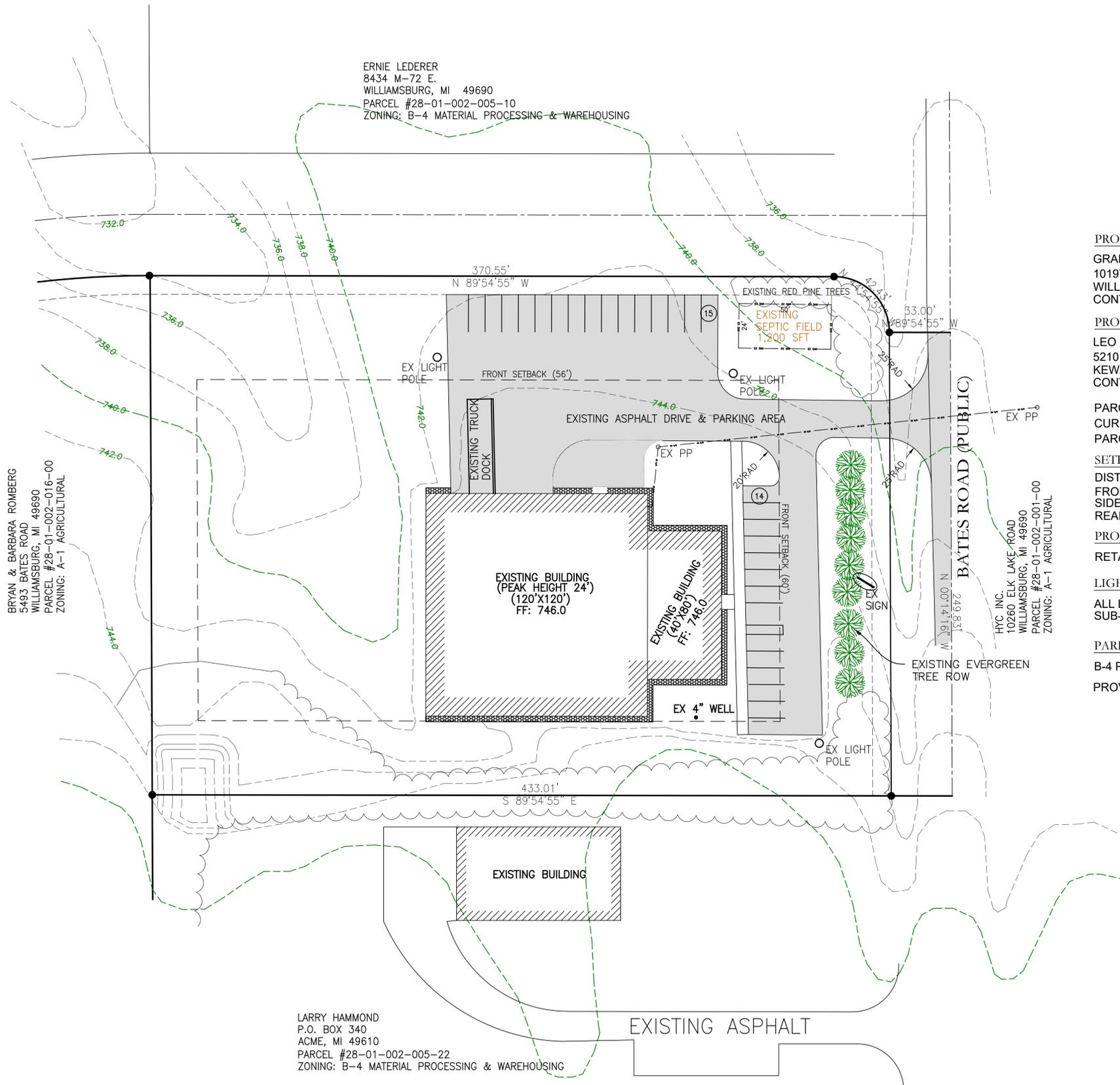
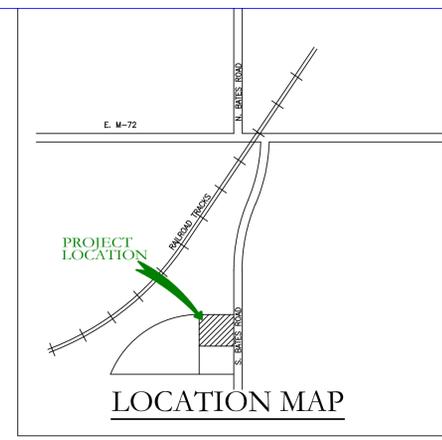
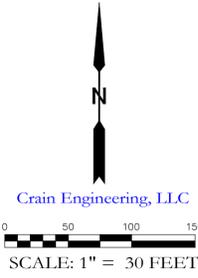
#### WHOLESALE OPERATIONS

Hours of operation when staff will be present at location are:

Monday through Friday: 8:30 – 5:00 pm

Wholesale operations will also include receiving of freight shipments, warehouse stocking and management and order fulfillment from ecommerce storefront. This operation will be implemented after retail operation is established. Staffing expectations for this operation will be 3 to 4 initial employees.

# GRANCZYK, LLC OVERALL SITEPLAN



## SITE DATA

**PROPERTY OWNER:**  
GRANCZYK, LLC  
10197 MIAMI BEACH ROAD  
WILLIAMSBURG, MI 49690  
CONTACT: MR. LEO GRANT 231-267-5077

**PROPERTY OWNER:**  
LEO GRANT  
5210 HIDDEN DUNES DRIVE  
KEWADIN, MI 49648  
CONTACT: MR. LEO GRANT 231-709-0411

PARCEL ADDRESS - 5549 BATES ROAD  
CURRENT PARCEL ZONING - B-4  
PARCEL NUMBER - 28-01-002-005-21

**SETBACKS:**  
DISTRICT: B-4  
FRONT: 20% DEPTH  
SIDE: 10% WIDTH  
REAR: 10% DEPTH

**PROPOSED:**  
RETAIL GARDEN CENTER AND HYDROPONIC SUPPLY

**LIGHTING:**  
ALL LIGHTING TO COMPLY WITH SECTION 7.8.3 OUTDOOR LIGHTING, SUB-SECTION 4.

**PARKING CALCULATIONS:**  
B-4 PARCEL: OFFICE AREA: 3,200 SFT AT 1 SPACE/200 SFT = 16 SPACES REQ'D  
PROVIDED SPACES: 29 EXISTING (2 HANDI-CAP SPACES)

- LEGEND**
- PROPERTY LINE
  - - - SETBACK
  - - - EXISTING CONTOUR
  - - - PROPOSED CONTOUR
  - DRAINAGE DIRECTION ARROW
  - ~ EXISTING TREE LINE

BRYAN & BARBARA ROMBERG  
5493 BATES ROAD  
WILLIAMSBURG, MI 49690  
PARCEL #28-01-002-016-00  
ZONING: A-1 AGRICULTURAL

ERNE LEDERER  
8434 M-72 E.  
WILLIAMSBURG, MI 49690  
PARCEL #28-01-002-005-10  
ZONING: B-4 MATERIAL PROCESSING & WAREHOUSING

LARRY HAMMOND  
P.O. BOX 340  
ACME, MI 49610  
PARCEL #28-01-002-005-22  
ZONING: B-4 MATERIAL PROCESSING & WAREHOUSING

HVC INC.  
10260 ELK LAKE ROAD  
WILLIAMSBURG, MI 49690  
PARCEL #28-01-002-001-00  
ZONING: A-1 AGRICULTURAL

Crain Engineering, LLC  
Engineering, Consulting, & Design  
7622 Bott Road  
Buckley, MI 49620  
Phone: (231) 947-7255  
Cell: (231) 632-4207  
email: crainengineeringllc@gmail.com



DRWN BY: WLC  
DSGN BY: WLC  
DATE: 05-17-2019  
REV DATE:

**SITEPLAN**  
**GRANCZYK, LLC**  
SECTION 6 - TOWN 27 NORTH - RANGE 9 WEST  
ACME TWP. GRAND TRAVERSE COUNTY, MICHIGAN



JOB NUMBER:  
**140319**  
SHEET **C-1**



# GRAND TRAVERSE COUNTY ENVIRONMENTAL HEALTH WELL & SEPTIC STATUS FORM - \$25

DEMOLITION    REMODEL    ADDITION    HOME REPLACEMENT    change of use

Property Address: 5549 S. Bates Road, Williamsburg, MI 49690

Property Tax ID: 2801-002-005-21

Township: Acme

Owner Name: Leo Grant

Owner Phone: (231) 709-0411

Owner Address: 5210 Hidden Dunes Drive, Kewadin, MI 49648

Contractor's Name:

Contractor Phone:

Contractor's Address:

Please include a brief summary of the proposed changes to the property. For residential, please include current bedrooms, proposed bedrooms and whether or not the property has/will have a garbage disposal. For commercial, please state number of bathrooms, employees, and max customers/day.

one existing bathroom

3 to 8 employees

retail operation - up to 40 customers per day

Signature of Owner/Contractor

5-30-2019

Date

# Grand Traverse County Environmental Health WELL & SEPTIC STATUS FORM

(TO BE COMPLETED BY SANITARIAN)

- EXISTING PERMIT AVAILABLE PERMIT # 18870 DATE OF ISSUE: 6/26/90  
 EXISTING PERMIT NOT AVAILABLE

- Well shall be properly plugged according to Part 127 of Act 368, P.A. 1978, as amended. Abandoned well plugging record shall be submitted to the Health Department. A new well may be required.
- Septic tank(s) and any other tank(s) associated with the wastewater system shall be pumped by a licensed septage hauler, crushed, and filled or removed. A new wastewater system may be required.
- Existing well meets current well construction code requirements and is approved for use as an:
- Private Residential Well
  - Irrigation Well
  - Public Well
- circle type: TYPE II      TYPE III
- Existing septic system meets current design requirements for proposed use and meets all isolation requirements. Tank(s) Size(s): 1200g DBL Drained: 24'x50'  
 Existing septic system will serve:
- Residential home with \_\_\_\_\_ bedrooms Garbage Disposal: YES NO
  - Commercial facility with design daily flow of 900 gal/day FOR FIELD
  - Other use with design daily flow of \_\_\_\_\_ gal/day 600 GAL/DAY WITH EXISTING SEPTIC TANK.
- Existing septic system does not meet current design requirements, but is considered "grand-fathered" for proposed use.

Comments:

EXISTING LAYOUT DESIGNED FOR 600 GAL/DAY. PROPOSED FLOWS  
180 GAL/DAY. SYSTEM COULD BE INCREASED TO ACCEPT FLOWS OF  
900 GAL/DAY IF THE SEPTIC TANK STORAGE CAPACITY IS INCREASED

*[Signature]*  
 Signature of Health Department Representative

5/30/19  
 Date

<b>OFFICE USE ONLY</b>		
Receipt Date: <u>5/29/19</u>	Receipt #: <u>48097</u>	Initials: <u>ym</u>



Shawn Winter &lt;s0winter@gmail.com&gt;

---

**Fwd: Site Plan Review**

1 message

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**Shawn Winter** <swinter@bria2.com>  
To: Shawn Winter <s0winter@gmail.com>

Mon, Jun 3, 2019 at 2:19 PM

Sent from my iPhone

Begin forwarded message:

**From:** Leo Grant <[grhydrotc@gmail.com](mailto:grhydrotc@gmail.com)>  
**Date:** June 3, 2019 at 2:14:15 PM EDT  
**To:** Shawn Winter <[swinter@bria2.com](mailto:swinter@bria2.com)>  
**Subject:** Fwd: Site Plan Review

Forwarding email that I received from GT Metro Fire.

Leo Grant

----- Forwarded message -----  
From: **grhydrotc** <[grhydrotc@gmail.com](mailto:grhydrotc@gmail.com)>  
Date: Thu, May 30, 2019 at 4:45 PM  
Subject: Fwd: Site Plan Review  
To: Shawn Winter <[swinter@acmetownship.org](mailto:swinter@acmetownship.org)>

Shawn,

Here is my response from GT Metro. I am also wondering what is the schedule on June 10th. I wasn't thinking that this is a meeting open to me being there. Bill Crain said he would be attending. I don't even know what time of day it is.

Leo Grant

Sent via the Samsung Galaxy Note9, an AT&amp;T 5G Evolution capable smartphone

----- Original message -----  
From: Kathy Fordyce <[kfordyce@gtmetrofire.org](mailto:kfordyce@gtmetrofire.org)>  
Date: 5/30/19 3:22 PM (GMT-05:00)  
To: [GRHydroTC@gmail.com](mailto:GRHydroTC@gmail.com)  
Cc: Shawn Winter <[swinter@acmetownship.org](mailto:swinter@acmetownship.org)>  
Subject: Site Plan Review

Mr. Grant,

No changes are being proposed to the site for your business at 5549 S. Bates Rd. therefore we will not be required to do a formal site plan review. I will look for your building plan submittal.

Regards,

*Kathy Fordyce*

Fire Inspector II / Fire Plans Examiner

Grand Traverse Metro Fire Dept.

TX: 231-947-3000 X 1236

FX: 231-947-8728

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